



Home Inspection Report

Report Number: 71615-1
For The Property Located On:

Franklinton, North Carolina 27525



Prepared For Exclusive Use By:

First Last

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Report Prepared By: Kevin Novy; License No.: 3535

Inspector Signature: *Kevin Novy*

Date of Inspection: Thursday, July 16, 2015

Time Started: 11:00 AM, Time Completed: 2:00 PM

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Report Sections

Summary

- A Structural
- B Exterior
- C Roofing
- D Plumbing
- E Electrical
- F Heating
- G Cooling
- H Interiors
- I Insulation and Ventilation
- J Appliances

Report Introduction

Weather Conditions

Inspection Report Body

- A Structural
- B Exterior
- C Roofing
- D Plumbing
- E Electrical
- F Heating
- G Cooling
- H Interiors
- I Insulation and Ventilation
- J Appliances

Summary

"This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney."

(A1 - 1) Summary - Structural: Foundation (Defects, Comments, and Concerns):

(A1 - 1.1) Main House



The foundation vents on right side of house are not operating properly. Improper ventilation could result in condensation and elevated moisture levels in building components. A licensed general contractor should be consulted for a complete evaluation of the crawl space to determine the significance of the concern and make necessary repairs. Refer to the foundation section of the report.

(B1 - 1) Summary - Exterior: Wall Claddings, Flashing, and Trim (Defects, Comments, and Concerns):

(B1 - 1.1) Main House



On the left side of the home, a damaged or cracked piece of siding is in need of replacement. A siding installation company or general contractor should be consulted to evaluate and repair the siding to ensure the integrity of the cladding system.

(B1 - 1.2) Main House



on the rear of the house, short pieces of siding were noted. The short pieces are loose and leave the wall sheathing/house wrap exposed. The siding needs to be installed to create a complete cladding system covering all underlying wall components. A siding installation company or general contractor should be consulted to evaluate and repair the siding to ensure the integrity of the cladding system.

(B2 - 2) Summary - Exterior: Windows and Doors (Defects, Comments, and Concerns):

(B2 - 2.1) Doors ; Location: Main House Front



The door lock assembly is not aligned with the striker in the jamb area. The deadbolt could not be engaged to secure the door. The door/lock needs repair/replacement to ensure that the door closes securely. A general repair specialist or licensed general contractor should be consulted for evaluation and repair.

**(B2 - 3) Summary - Exterior: Windows and Doors
(Defects, Comments, and Concerns):**

(B2 - 3.1) Doors ; Location: Main House Rear



The exterior rear door trim has soft and decayed wood in the frame area bottom left. Decay in the door frames can result in leaking and water penetration and should be repaired as soon as possible. All doors should be inspected for similar damage as repairs are made. A general repair specialist or licensed general contractor should be consulted for evaluation and repair.

**(B5 - 1) Summary - Exterior: Vegetation and Grading
(Defects, Comments, and Concerns):**

(B5 - 1.2) Vegetation; Location: Main House



Additional Photograph: This a photograph of vegetation

**(C3 - 1) Summary - Roofing: Flashings, Skylights, and Penetrations
(Defects, Comments, and Concerns):**

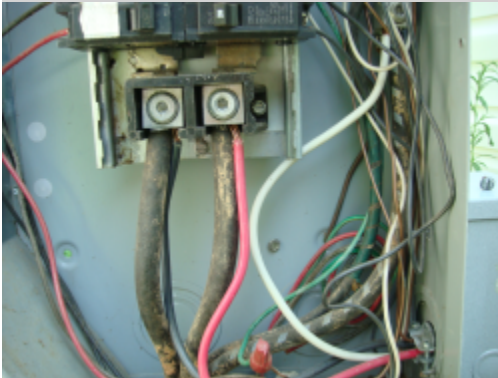
(C3 - 1.1) Main House; Location: Plumbing Vent



The vent boot located left and middle of roof acts as a flashing to prevent water penetration around the plumbing vent pipe is split, cracked. A licensed roofing contractor should be consulted for evaluation and repair to ensure the weather-tightness of the roof covering system.

(E2 - 1) Summary - Electrical: Main Panels (Defects, Comments, and Concerns):

(E2 - 1.1) Main Panel #1; Location: Exterior



A set of conductors for the external generator plug have been inserted in the main lugs with the main service cables. This double tap leaves the added conductors and branch circuit that is being power unprotected and unsafe. This condition presents a safety hazard that could result in interrupted service, property damage, and serious personal injury. A licensed electrical contractor should be consulted for repair and a complete evaluation of the electrical system.

(E5 - 1) Summary - Electrical: Light Fixtures, Receptacles, & Smoke Detectors (Defects, Comments, and Concerns):

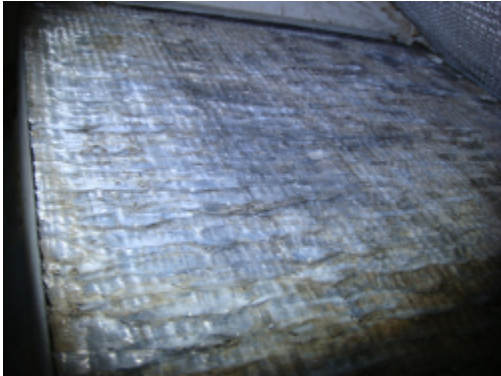
(E5 - 1.1) Exterior



The receptacle located main house rear had no power. This could indicate a damaged receptacle or branch wiring circuit. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

(G1 - 1) Summary - Cooling: Equipment (Defects, Comments, and Concerns):

(G1 - 1.1) Cooling Unit #1; Location: Closet: Hall



The evaporator coil unit for the heat pump/AC system has visible damage to the coil fins. A damaged coil can result in leaking refrigerant and poor system performance. A HVAC contractor should be consulted for a complete evaluation and repair of the system to ensure reliable and proper operation of the HVAC system.

**(H3 - 1) Summary - Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 1.1) Bathroom: Master



The sink faucet leaks into the cabinet area when turned on. The leaks could result in damage to the sink and cabinet and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to prevent leaks and ensure sanitary conditions.

(H3 - 1.2) Bathroom: Master



The water flow to the toilet is low. Low water flow in the bathroom can indicate an underlying problem with the plumbing systems/components and reduce the effectiveness and function of the fixtures. A licensed plumbing contractor should be consulted for evaluation and repair.

(H3 - 1.3) Bathroom: Master

The ventilation fan was not operational at the time of the inspection. The fan need further evaluation and repair.

**(H3 - 2) Summary - Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 2.1) Bathroom #1



The receptacle located in bathroom #1 had no power. This could indicate a damaged receptacle or branch wiring circuit. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

(H3 - 2.2) Bathroom #1



Stains on the ceilings indicate a history of a leak. At the time of the inspection it was not possible to determine if the condition was due to an active or past occurrence. Further investigation by a repair specialist and owner disclosure is recommended.

(H6 - 1) Summary - Interiors: Fireplaces and Stoves (Defects, Comments, and Concerns):

(H6 - 1.1) Fireplace: Pre-Manufactured: Metal: Box: ; Location: Living Room



From the fireplace opening, heavy build of soot was noted. Soot build-up can result in improper function of the fireplace and high potential for fire. A chimney sweep and general contractors should be consulted for a complete evaluation of the chimney and to make necessary repairs to ensure that the chimney is safe and functional.

(J1 - 3) Summary - Built In Appliances: Equipment (Defects, Comments, and Concerns):

(J1 - 3.1) Vent: Dryer; Location: crawl space



The exhaust duct for the clothes dryer is disconnected in the crawl space and does not have proper termination at the floor level inside the home. The dryer duct should be kept in good working order to prevent fire hazards and properly distribute moisture to the exterior of the home. Note: the dryer duct for this home is a flexible plastic duct, most new dryers require a solid pipe metal duct. A HVAC contractor should be requested to upgrade this duct for safest operation.

Introduction

This report is a written evaluation that represents the results of a home inspection performed according to North Carolina Home Inspector Licensure Act Standard of Practice. This report represents the inspection of a manufactured or mobile home. As compared to an inspection of a standard home, this inspection is very limited due to the type of the construction that utilizes closed attics and vapor barriers systems to cover the underside of the home in the foundation area. The insulation systems, ventilation systems, roof framing components, floor framing components, HVAC duct systems, and crawl space components of plumbing and electrical systems are not visible and therefore not inspected. The concealed framing areas prevent the inspector from moving insulation to locate possible areas of damage or decay and at the areas required by the NC standard of practice, therefore it is not possible to identify damage or deterioration until it is apparent in the interior areas of the home.

The home inspection does not include verification of stabilization system foundation, footings or strapping systems that anchor the home. If an invasive inspection is desired a licensed general contractor should be consulted. THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT IS AS FACING THE FRONT OF THE HOME.

Inspection Weather Conditions

Temperature: 81 Deg. F

Weather Conditions: Partly Cloudy

Home Inspection Report Body

A - Structural Section

(General Limitations, Implications, and Directions):

All concerns related to structural items identified to be deficient in the following section are in need of further evaluation by a Licensed General Contractor or Engineer. Items in need of repair should be referred to a General Contractor. Items in need of design consideration, evaluation of significance / cause, and or determination of adequacy should be referred to an Engineer. All structural concerns should be evaluated and corrected as needed to ensure the durability and stability of the home. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Where accessible foundations, piers, columns, roof and floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

A - Structural Section

(Foundation and Attic Inspection Methods):

When accessible and safe the inspector entered inspection areas with small probe, camera, and a standard flash light. Where visible and accessible floor and roof framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

(A1 - 1) Main House

Structural: Foundation (Descriptions):

Foundation Type: Crawl Space: Exterior Entrance

Foundation Materials: Block

(A1 - 1) Structural: Foundation

(Defects, Comments, and Concerns):

(A1 - 1.1) Main House



The foundation vents on right side of house are not operating properly. Improper ventilation could result in condensation and elevated moisture levels in building components. A licensed general contractor should be consulted for a complete evaluation of the crawl space to determine the significance of the concern and make necessary repairs. Refer to the foundation section of the report.

(A1 - 1.2) Main House



The foundation vent left side has a hole in the screen. Could allow pest into the crawl space. A licensed general contractor should be consulted for a complete evaluation and make necessary repairs. Refer to the foundation section of the report.

(A2 - 1) Main House

Structural: Columns and Piers (Descriptions):

Column/Pier Type: Pier: Crawl Space

Column/Pier Materials: Block

(A3 - 1) All Accessible Areas

Structural: Floor Structure (Descriptions):

Sub-Floor Type:

Floor Joist Type: Not Visible For Inspection: Description

Girder/Beam Type: Not Visible For Inspection: Description

(A4 - 1) All Attic Areas

Structural: Wall Structure (Descriptions):

Wall Structure Type: Finished Areas: Not Accessible for Inspection or Description

(A5 - 1) All Accessible Interior Areas

Structural: Ceiling Structure (Descriptions):

Ceiling Joist Type: Not Visible: Not Accessible For Inspection or Description

Beam/Girder Type: Not Visible: Not Accessible For Inspection or Description

(A6 - 1) Main House

Structural: Roof Structure (Descriptions):

Roof Style/Type: Gable

Roof Sheathing Type:

Rafter & Beam Types: Not Visible For Inspection or Description

B - Exterior Section

(General Limitations, Implications, and Directions):

All concerns related to exterior items listed below or identified to be deficient are in need of further evaluation and or repair by a Licensed General Contractor. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. It is important to have the exterior areas of concern evaluated / repaired prior to purchase. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern.

(B1 - 1) Main House

Exterior: Wall Cladding (Descriptions):

Wall Cladding Type: Vinyl Horizontal

Trim Type: Vinyl Solid

(B1 - 1) Exterior: Wall Cladding

(Defects, Comments, and Concerns):

(B1 - 1.1) Main House



On the left side of the home, a damaged or cracked piece of siding is in need of replacement. A siding installation company or general contractor should be consulted to evaluate and repair the siding to ensure the integrity of the cladding system.

(B1 - 1.2) Main House



on the rear of the house, short pieces of siding were noted. The short pieces are loose and leave the wall sheathing/house wrap exposed. The siding needs to be installed to create a complete cladding system covering all underlying wall components. A siding installation company or general contractor should be consulted to evaluate and repair the siding to ensure the integrity of the cladding system.

(B2 - 1) All Windows

Exterior: Windows and Doors (Descriptions):

Window/Door Type: Window: Single

Location: All Accessible

(B2 - 2) Doors

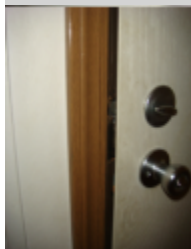
Exterior: Windows and Doors (Descriptions):

Window/Door Type: Door: Main Entrance

Location: Main House Front

(B2 - 2) Exterior: Windows and Doors (Defects, Comments, and Concerns):

(B2 - 2.1) Doors



The door lock assembly is not aligned with the striker in the jamb area. The deadbolt could not be engaged to secure the door. The door/lock needs repair/replacement to ensure that the door closes securely. A general repair specialist or licensed general contractor should be consulted for evaluation and repair.

(B2 - 3) Doors

Exterior: Windows and Doors (Descriptions):

Window/Door Type: Door: Single

Location: Main House Rear

(B2 - 3) Exterior: Windows and Doors (Defects, Comments, and Concerns):

(B2 - 3.1) Doors



The exterior rear door trim has soft and decayed wood in the frame area bottom left. Decay in the door frames can result in leaking and water penetration and should be repaired as soon as possible. All doors should be inspected for similar damage as repairs are made. A general repair specialist or licensed general contractor should be consulted for evaluation and repair.

(B3 - 1) Porch

Exterior: Decks, Porches, Stoops, and Balconies (Descriptions):

Structure Type: Wood (Wood Surface)

Location: Main House Front

(B3 - 2) Stoop
Exterior: Decks, Porches, Stoops, and Balconies (Descriptions):

Structure Type: Wood (Wood Surface)

Location: Main House Rear

(B3 - 2) Exterior: Decks, Porches, Stoops, and Balconies
(Defects, Comments, and Concerns):

(B3 - 2.1) Stoop



The wood steps for the rear stoop are in contact with the ground and have the beginning signs of decay. The steps should be monitored to ensure safe entry and egress for the home. The following concerns were noted at the time of the inspection: Step stringer base is not properly supported. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

(B4 - 1) Driveway
Exterior: Driveways, Patios, Walks, and Retaining Walls (Descriptions):

Construction Type: Gravel

Location: Main House Front

(B5 - 1) Vegetation
Exterior: Vegetation and Grading (Descriptions):

Location: Main House

(B5 - 1) Exterior: Vegetation and Grading
(Defects, Comments, and Concerns):

(B5 - 1.1) Vegetation



The vegetation around the perimeter of the home is over grown and blocks the air circulation around the home. The growth also limited the inspection access. A landscaping company should be consulted to correct the over growth and the inspection should be completed prior to purchase.

(B5 - 1.2) Vegetation



Additional Photograph: This a photograph of vegetation

C - Roofing Section (General Limitations, Implications, and Directions):

The roof covering, chimney, flashings, and roof drainage items listed or identified below were found to be of concern and in need of further evaluation and repair by Licensed Roofing or General Contractor. Chimney related Items listed or identified were found to be of concern and in need of further evaluation and repair by a General Contractor and or Engineer. It is important to correct roofing deficiencies to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. The verification of fastener type and count for the roofing covering system is beyond the scope of the home inspection. The home inspection is limited to visible surfaces and systems only, hidden or underlying system details such as flashings are beyond the scope of the home inspection. Determining the age or remaining service life of the roof covering systems is beyond the scope of the home inspection, if the buyer would like to budget for replacement a roofing contractor should be consulted to answer questions related to the life expectancy. Flashings and Roof gutters system inspections are limited to evidence of past problems unless the inspection is performed during a heavy rain. All roof drainage and flashing systems should be monitored over the first year of ownership to identify problems areas or areas that may need adjustment or corrections. Chimney inspections are limited to the visible surfaces only, flue liners, chimney caps, chimney crowns are not visible and therefore beyond the scope of the home inspection. Chimneys should have complete inspections by a specialist annually and prior to use.

C - Roofing Section (Roof Covering Inspection Methods):

The roof covering was inspected using binoculars / zoom camera and from a ladder at the roof eaves. Walking on the roof surface is beyond the scope of the home inspection. If an invasive or complete surface inspection of the roof covering is desired, the buyer should consult a licensed roofing contractor prior to purchase.

(C1 - 1) Main House Roofing: Coverings (Descriptions):

Roof Covering Type: Shingles/Composite/Fiberglass

(C2 - 1) Main House Roofing: Drainage Systems (Descriptions):

System Type: Gutter

(C3 - 1) Main House Roofing: Flashings, Skylights, and Penetrations (Descriptions):

System Type: Plumbing Vent

(C3 - 1) Roofing: Flashings, Skylights, and Penetrations (Defects, Comments, and Concerns):

(C3 - 1.1) Main House



The vent boot located left and middle of roof acts as a flashing to prevent water penetration around the plumbing vent pipe is split, cracked. A licensed roofing contractor should be consulted for evaluation and repair to ensure the weather-tightness of the roof covering system.

(C4 - 1) Main House Roofing: Chimneys and Flues (Descriptions):

Type: Pre-Manufactured: Metal

D - Plumbing Section (General Limitations, Implications, and Directions):

All plumbing and water heating items listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed Plumbing or General Contractor. If additional concerns are discovered during the process of evaluation and repair, a general contractor should be consulted to contact specialist in each trade as needed. Repairs are needed to prevent leaks and ensure proper sanitation. The majority of the water supply and the waste lines are concealed from visual inspection and the general condition cannot be determined. The plumbing was inspected for functional flow and drainage; however, it is not possible to fully evaluate the plumbing system to determine proper venting, sizing, or functional design during a home inspection when the system cannot be put under the same load as presented by a family. The inspection of the water heater does not include evaluating the unit capacity for functional use based on the number bathrooms or fixtures. The hot water requirement for daily use varies with each family and the home inspector has not developed an opinion whether or not the hot water system for this home is adequate. The inspection does not include verification of anti-scald fixtures. The inspection does not assure that the plumbing systems and components of the home will meet the demands of your family. Determining the quality and quantity of the water supply is beyond the scope of the home inspection, this includes determining if water supply is acidic or has high mineral content. Fixtures are not identified as defective as the result of hard water or mineral stains. The effectiveness of the toilet flush and the verification of the drain for the washing machine are beyond the scope of the home inspection. The main water turn off valve location is identified if located, but not operated. The functional flow of the water supply at each accessible fixture was tested. Functional flow is not found and reported as defective unless water flow drops below 50% when two fixtures are operated simultaneously. Waste and supply lines are evaluated by running water inside the home, the condition of the inside of the plumbing pipes cannot be determined. Verification of the surface defects on plumbing fixtures such as shower/tubs/sinks is beyond the scope of the inspection. Backflow protection is not a requirement for all homes, and determining the presence or absence of backflow protection is beyond the scope of the inspection. Annual service and inspection of the main waste line will prevent system clogging and backup. This home has a private well for potable water supply and a private septic system for waste disposal. Determining the adequacy of these systems is beyond the scope of the home inspection. Wells and septic systems require regular maintenance and inspection. Wells can become contaminated with bacteria or other contaminants and septic systems can fail resulting in expensive repairs. It is recommended that the buyer consult the local health department or a licensed well /septic contractor for system evaluation and testing. The plumbing inspection is a limited functional evaluation made under little to no system load. If the buyer would like to know the condition of the interior of the plumbing lines, the buyer should consult a licensed plumbing contractor prior to purchase.

D - Plumbing Section (Main Water Shut-Off Location, Water Supply Type, and Water Supply Piping Materials):

Main Shut-Off Location: Crawl Space

Water Supply Type: Private Well

Supply Piping Materials: [Polyethylene - Black Color]

(D1 - 1) All Accessible Areas Plumbing: Water Distribution Systems (Descriptions):

Piping Materials: [PEX]

(D2 - 1) All Accessible Areas Plumbing: Drain, Waste, and Vent Systems (Descriptions):

Piping Materials: [PVC]

Trap Materials: [Chrome] [Plastic]

(D3 - 1) Unit #1 Plumbing: Water Heating Equipment (Descriptions):

Location: Closet

Capacity: 40 Gallons

Energy Source: Electric

(D3 - 1) Plumbing: Water Heating Equipment (Defects, Comments, and Concerns):

(D3 - 1.1) Unit #1



The water heating unit for this home is located in bedroom closet. The installation of the unit should have an emergency drain pan to prevent property damage in the event of a malfunction or a leak. The water heater for this home was installed without a drain pan with a piped exit. This issue should be corrected to prevent property damage. A plumbing contractor should be consulted for a complete evaluation and to make necessary repairs to ensure safe, reliable, and proper operation of the system.

E - Electrical Section (General Limitations, Implications, and Directions):

All Electrical items listed below that were found to be of concern and in need of further evaluation and repair by a Licensed Electrical Contractor. When repairs are made the complete electrical system should be evaluated. Electrical issues are safety concerns and should be repaired immediately. During a home inspection, it is not possible to place a home under a full loading condition that would evaluate the capacity of the electrical system.

The electrical system was evaluated based on current systems and components and no consideration was made to future expansion or modernizations. As with any system, the addition of new systems and appliances may require electrical system replacement, modifications, and or upgrades.

E - Electrical Section (Presence or Absence of Smoke Detectors and Carbon Monoxide Detectors):

Smoke Detectors are Present in this Home

(E1 - 1) Type: Overhead Electrical: Main Service (Descriptions):

Grounding Electrode: Driven Rod

(E2 - 1) Main Panel #1 Electrical: Main Panels (Descriptions):

<i>Location:</i>	Exterior	<i>Amperage Rating:</i>	200 Amps
<i>Service Cable Material:</i>	Aluminum	<i>Voltage Rating:</i>	120/240 Volts, 1 Phase

(E2 - 1) Electrical: Main Panels (Defects, Comments, and Concerns):

(E2 - 1.1) Main Panel #1



A set of conductors for the external generator plug have been inserted in the main lugs with the main service cables. This double tap leaves the added conductors and branch circuit that is being power unprotected and unsafe. This condition presents a safety hazard that could result in interrupted service, property damage, and serious personal injury. A licensed electrical contractor should be consulted for repair and a complete evaluation of the electrical system.

(E3 - 1) Distribution Panel #1 Electrical: Distribution Panels (Descriptions):

<i>Location:</i>	Bedroom	<i>Amperage Rating:</i>	200 Amps
<i>Service Cable Material:</i>	Aluminum	<i>Voltage Rating:</i>	

(E4 - 1) Area: Distribution Panel Electrical: Branch Circuits and Wiring (Descriptions):

Observed Wiring Materials: [Non Metallic Sheathed Cable-Plastic]

(E5 - 1) Electrical: Light Fixtures, Receptacles, Smoke Detectors (Defects, Comments, and Concerns):

(E5 - 1.1) Exterior



The receptacle located main house rear had no power. This could indicate a damaged receptacle or branch wiring circuit. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

F - Heating Section (General Limitations, Implications, and Directions):

All heating system concerns listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the HVAC system. The removal of the unit covers to view coils and fans provided for service by a qualified service technician is beyond the scope of the home inspection. The purpose of a home inspection is to determine if a system or component is functioning as intended. During a summer inspection when outside temperatures are above 60 degrees F, it is not possible to evaluate if the system will properly heat the home, therefore, the heat pump system is visually inspected but not operated in the heating mode. Unless otherwise noted the backup or emergency heat systems are operated. It is not possible for the home inspector to draw a conclusion regarding the functionality of the heat pump system in heating mode during a summer inspection. If the buyer would like more information concerning the functionality of the system, an invasive inspection by a HVAC technician should be requested prior to purchase. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC systems.

(F1 - 1) Heating Unit #1 Heating: Equipment (Descriptions):

Location: Closet: Hall

Equipment Type: Heat Pump: Split System

Energy Source: Electric

(F2 - 1) Heating Unit Served: Heating Unit #1 Heating: Distribution Systems (Descriptions):

Location: No Access

System Type:

G - Cooling Section (General Limitations, Implications, and Directions):

All cooling system concerns listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the HVAC system. The removal of the unit covers to view coils and fans provided for service by a qualified service technician is beyond the scope of the home inspection. If an invasive inspection is desired, a HVAC service company should be consulted prior to closing. To keep your unit operating safely and efficiently, a qualified service technician should check the entire system seasonally. Unless otherwise noted, the air conditioning system was operated during the inspection. The system outputs are evaluated based on typical HVAC systems design specifications of 75 °F interior temperatures on 90°F days. Determining system performance for extreme weather days or consumer desire for room temperature below 75 °F is beyond the scope of the home inspection. Comfort levels vary from person to person and therefore are not the focus of a home inspection. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC systems.

(G1 - 1) Cooling Unit #1 Cooling: Equipment (Descriptions):

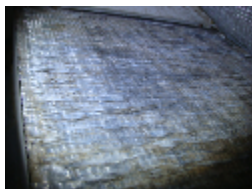
Location: Closet: Hall

Equipment Type: Heat Pump: Split System

Energy Source:

(G1 - 1) Cooling: Equipment (Defects, Comments, and Concerns):

(G1 - 1.1) Cooling Unit #1



The evaporator coil unit for the heat pump/AC system has visible damage to the coil fins. A damaged coil can result in leaking refrigerant and poor system performance. A HVAC contractor should be consulted for a complete evaluation and repair of the system to ensure reliable and proper operation of the HVAC system.

(G2 - 1) Cooling Unit Served: Cooling Unit #1 Cooling: Distribution Systems (Descriptions):

Location: No Access

System Type:

H - Interiors Section (General Limitations, Implications, and Directions):

The interior rooms of the home were visually inspected. The inspection was not invasive and therefore was limited. One window and one receptacle were tested in each room unless furniture or storage blocked the access. Identifying cloudy windows is beyond the scope of the home inspection. The severity of the hazing varies with season and time of the day; therefore, damaged windows may not be visible at the time of the inspection. Light fixtures were operated from at least one switch. Unless labeled, multiple switch locations may not be identified. Confirmation of multiple position switches is only possible when all switches can be identified and this is not possible if switches are improperly installed. Every light fixture has specific bulb wattage limitations. During the home inspection it is not possible to verify bulb type and size. Homeowners should verify bulb type and wattage for each fixture to prevent fixture damage and ensure proper operation. Cosmetic concerns for example: worn carpets, poor floor finish, open seams in hardwoods, torn wallpaper, poor/damaged paint finish, worn cabinets, worn hinges, damaged window blinds/shades, evidence of pets, and evidence of smoking are beyond the scope of the home inspection. Personal property such as storage, refrigerators, washers, dryers, rugs, furniture, clothes, and wall hangings are not moved and therefore limit the inspection. The overall floor areas in most furnished rooms are not visible and therefore identifying slopes may not be possible. Furniture and personal items can conceal defects and change the overall feel of a home. The buyer should view the home when furnishing and personal items have been removed prior to the purchase. The inspection of the garage does not include moving personal property and or storage. The verification of fire separation systems between the house and the garage such as doors and ceilings is beyond the scope of the home inspection. The washing machine and dryer are considered personal property and the inspection of these appliances are beyond the scope of the home inspection. Washing machines often leak resulting in hidden damage to areas that are not visible to the home inspector and Household fires related to clothes dryers are very common. The presence of the washer and dryer greatly limit the inspection of the laundry area. After the washer and dryer have been removed and prior to the purchase of the home, the buyer should view the laundry room for damage or concerns. Before the installation of your washer and dryer, the installer should inspect and verify the washer drain, the dryer exhaust duct, and the electrical service receptacles.

(H1 - 1) Hall Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]

(H1 - 1) Interiors: General Rooms (Defects, Comments, and Concerns):

(H1 - 1.1) Hall



The light fixture located in the right side hallway has one bulb not operational. This could indicate a defective bulb or other more serious problem, further evaluation is needed. A licensed electrical contractor should be consulted for further evaluation and repair.

(H1 - 2) Bedroom #1 Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]

(H1 - 2) Interiors: General Rooms (Defects, Comments, and Concerns):

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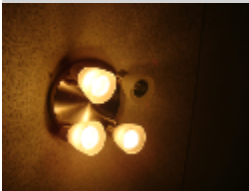
(H1 - 2.1) Bedroom #1

Interior floors in the bedroom #1 closet were noted to indent. No related concerns were noted in the foundation area. The buyer should review the area of concern. If additional concerns or questions are present, an engineer should be consulted to evaluate the structure of the home to determine the significance of this concern and if repairs are necessary.

(H2 - 1) Kitchen**Interiors: Kitchens (Descriptions):**

Additional Information: [Finished Area]

Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H2 - 1) Interiors: Kitchens**(Defects, Comments, and Concerns):****(H2 - 1.1) Kitchen**

The light fixture located in the kitchen has one bulb not operational. This could indicate a defective bulb or other more serious problem, further evaluation is needed. A licensed electrical contractor should be consulted for further evaluation and repair.

(H3 - 1) Bathroom: Master**Interiors: Bathrooms (Descriptions):**

Electrical Receptacle: Electrical Receptacle Present in Bathroom

Bathroom Ventilation: [Ventilation Exhaust Fan] [Operable Window]

(H3 - 1) Interiors: Bathrooms**(Defects, Comments, and Concerns):****(H3 - 1.1) Bathroom: Master**

The sink faucet leaks into the cabinet area when turned on. The leaks could result in damage to the sink and cabinet and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to prevent leaks and ensure sanitary conditions.

(H3 - 1.2) Bathroom: Master

The water flow to the toilet is low. Low water flow in the bathroom can indicate an underlying problem with the plumbing systems/components and reduce the effectiveness and function of the fixtures. A licensed plumbing contractor should be consulted for evaluation and repair.

(H3 - 1.3) Bathroom: Master

The ventilation fan was not operational at the time of the inspection. The fan need further evaluation and repair.

(H3 - 2) Bathroom #1**Interiors: Bathrooms (Descriptions):**

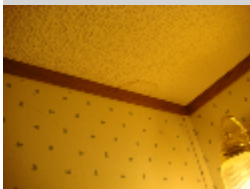
Electrical Receptacle: Electrical Receptacle Present in Bathroom

Bathroom Ventilation: [Ventilation Exhaust Fan]

(H3 - 2) Interiors: Bathrooms

(Defects, Comments, and Concerns):**(H3 - 2.1) Bathroom #1**

The receptacle located in bathroom #1 had no power. This could indicate a damaged receptacle or branch wiring circuit. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

(H3 - 2.2) Bathroom #1

Stains on the ceilings indicate a history of a leak. At the time of the inspection it was not possible to determine if the condition was due to an active or past occurrence. Further investigation by a repair specialist and owner disclosure is recommended.

(H5 - 1) Attic:**Interiors: Attics, Basements, Areas, Rooms****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

No Access

Additional Information: [Finished Area]

(H6 - 1) Fireplace: Pre-Manufactured: Metal: Box:**Interiors: Fireplaces and Stoves (Descriptions):**

Location: Living Room

Energy Source: Wood

Exhaust Flue Type: Metal

(H6 - 1) Interiors: Fireplaces and Stoves**(Defects, Comments, and Concerns):****(H6 - 1.1) Fireplace: Pre-Manufactured: Metal: Box:**

From the fireplace opening, heavy build of soot was noted. Soot build-up can result in improper function of the fireplace and high potential for fire. A chimney sweep and general contractors should be consulted for a complete evaluation of the chimney and to make necessary repairs to ensure that the chimney is safe and functional.

I - Insulation and Ventilation Section**(General Limitations, Implications, and Directions):**

All Insulation and Ventilation items listed or identified below were found to be of concern and in need of a full evaluation and repair by Licensed General Contractor. Insulation concerns should be evaluated and corrected as needed to ensure the integrity of the thermal envelope of this home. Missing, Poor, or inadequate insulation can lead to air infiltration and higher heating and cooling system operational costs. Air infiltration in humid climates can lead to undesirable environmental conditions

(I1 - 1) Crawl Space: All Accessible Areas**Insulation and Ventilation: Areas (Descriptions):**

Insulation Type: Batt: Poly Bagged

Ventilation Type: Foundation Vents

(I1 - 2) Attic**Insulation and Ventilation: Areas****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

No Access

Insulation Type: Not Accessible*Ventilation Type:* Soffit: Ridge**J - Built In Appliance Section
(General Limitations, Implications, and Directions):**

All items listed or in this Appliance section as not functional or deficient are in need of repair. An Appliance repair specialist should be consulted to ensure proper and safe service. Refrigeration units and washing machines are beyond the scope of the home inspection.

(J1 - 1) Dishwasher**Built In Appliances: Equipment (Descriptions):***Location:* Kitchen

Inspection Method: The dishwasher was operated through the "Normal Cycle" or until a defect is discovered. The unit was inspected to function and complete the cycle, but the effectiveness of the cleaning was not determined.

(J1 - 2) Range: Electric**Built In Appliances: Equipment (Descriptions):***Location:* Kitchen

Inspection Method: The range / oven elements were operated with indicator set to HIGH until the element was noted to be fully red or until a defect was noted. The unit calibration was not verified. If the client would like to verify temperature calibration, an appliance specialist should be consulted.

(J1 - 3) Vent: Dryer**Built In Appliances: Equipment (Descriptions):***Location:* crawl space*Inspection Method:***(J1 - 3) Built In Appliances: Equipment
(Defects, Comments, and Concerns):****(J1 - 3.1) Vent: Dryer**

The exhaust duct for the clothes dryer is disconnected in the crawl space and does not have proper termination at the floor level inside the home. The dryer duct should be kept in good working order to prevent fire hazards and properly distribute moisture to the exterior of the home. Note: the dryer duct for this home is a flexible plastic duct, most new dryers require a solid pipe metal duct. A HVAC contractor should be requested to upgrade this duct for safest operation.