



Home Inspection Report

Report Number: 91015-1
For The Property Located On:

Louisburg, North Carolina 27549



Prepared For Exclusive Use By:

First Last

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Report Prepared By: Kevin Novy; License No.: 3535

Inspector Signature: *Kevin Novy*

Date of Inspection: Thursday, September 10, 2015

Time Started: 9:00 AM, Time Completed: 12:00 PM

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Novy Home Inspections LLC., 1633 Carriage Dr, Franklinton, North Carolina, 27525
Phone: 919-500-8946, Email: kevin@novyinspections.com, Kevin Novy, Lic.# 3535

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Report Sections

Summary

- A Structural
- B Exterior
- C Roofing
- D Plumbing
- E Electrical
- F Heating
- G Cooling
- H Interiors
- I Insulation and Ventilation
- J Appliances

Report Introduction

Weather Conditions

Inspection Report Body

- A Structural
- B Exterior
- C Roofing
- D Plumbing
- E Electrical
- F Heating
- G Cooling
- H Interiors
- I Insulation and Ventilation
- J Appliances

Summary

"This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your North Carolina real estate agent or an attorney."

(A1 - 1) Summary - Structural: Foundation (Defects, Comments, and Concerns):

(A1 - 1.1) Main House



The foundation vents are below grade and protected from drainage by the installation of the window well. The window well area was filled with debris and the ventilation is blocked or restricted. The blocked ventilation could result in undesirable conditions in the foundation area and should be corrected. A licensed general contractor should be consulted for a complete evaluation of the window well system and to make necessary repairs.

(A1 - 1.2) Main House



Areas of standing water were present in the crawl space around the perimeter of the foundation and under the porches. Direct water penetration damages the foundation, the wood structure, and creates an undesirable environment in the crawl space areas that encourages insect, fungal growth such as mold/mildew. Water in the crawl space indicates an absent or damaged waterproofing and foundation drain system. Repairs are needed to prevent water penetration. A general contractor should be consulted for further evaluation to determine the source of the moisture and to make necessary repairs.

(A1 - 1.3) Main House



An opening was installed in the foundation area to install a (item). The adjacent framing that was originally supported by direct bearing on the foundation was not modified or supplemented by a beam or lintel to span across the opening. A general contractor should be consulted for further evaluation and to make necessary repairs to ensure the stability of the framing.

(A1 - 1.4) Main House



The subflooring around the perimeter of the foundation was noted to be soft and decayed. Evidence suggests direct water penetration and or condensation. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

(A1 - 1.5) Main House



Efflorescence (salt stains) was noted on the foundation walls. The stains indicate that the foundation was been cyclically wet and dry. Water penetration into the foundation area can result in structural damage and undesirable environmental conditions. Water in the foundation area indicates an absent or damaged waterproofing and foundation drain systems. Repairs are needed to prevent water penetration. A general contractor should be consulted for further evaluation to determine the source of the moisture and to make necessary repairs.

**(A2 - 1) Summary - Structural: Columns and Piers
(Defects, Comments, and Concerns):**

(A2 - 1.1) Main House



The column located right side porch is not fully bearing on the support base. The improper alignment could indicate improper installation or movement of the column. A licensed general contractor should be consulted for further evaluation and to make necessary repairs.

**(A3 - 1) Summary - Structural: Floor Structure
(Defects, Comments, and Concerns):**

(A3 - 1.1) Main House



Mold noted in basement/ crawl space area The area was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths such as mold an industrial hygienist should be consulted.

(A3 - 1.2) Main House



The subflooring under the toilet/bathtub/Shower was noted to be soft and decayed. Evidence suggests direct water penetration. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

**(A6 - 2) Summary - Structural: Roof Structure
(Defects, Comments, and Concerns):**

(A6 - 2.1) Attic



From the attic, the ridge board support for front right gable were noted to be bowed or warped beyond what would be typically expected.

The bowing could indicate an underlying problem with the design, installation, or attic conditions. An engineer should be consulted for further evaluation to determine the significance of the concern and outline necessary repairs to ensure the stability of the structure.

(A6 - 2.2) Attic



From the exterior of the home, the roof surface has visible sag along the ridge. A licensed general contractor should be consulted for further evaluation and repair to ensure the stability of the structure.

(A6 - 2.3) Attic

A rafter collar tie is not secure and are separating. A general contractor should be consulted for further evaluation to determine the significance of the concern and outline necessary repairs to ensure the stability of the structure.

**(B1 - 1) Summary - Exterior: Wall Claddings, Flashing, and Trim
(Defects, Comments, and Concerns):****(B1 - 1.1) Main House**

Cracks were noted above /below the windows/doors in the brick veneer. Cracks in brick veneer indicate a deficiency that can change or progress over the life of the home. The cracks on this home were closed at the time of the inspection and presented no visible evidence of progression to the foundation areas. The buyer should observe the cracks and assess their concerns related to the presence of the cracks, the number of cracks, and possibility of the condition worsening over the life of the home. If the buyer has additional concerns an engineer should be consulted to determine the significance of the cracking.

(B1 - 1.2) Main House

The right side exterior trim at the roof eave of the home need repairs to prevent further damage and water penetration. A licensed general contractor should be consulted for a complete evaluation of the exterior siding, trim and boxing to determine the scope of the damage and make necessary repairs.

**(B2 - 1) Summary - Exterior: Windows and Doors
(Defects, Comments, and Concerns):****(B2 - 1.1) Windows ; Location: All Accessible**



The paint is loose, peeling, on the wood trim 3rd bedroom (front) The exposed wood is subject to deterioration and decay. The windows and trim need paint and repair to prevent leaking, deterioration, and decay. A licensed general contractor should be consulted to evaluate the extent of the damage and make necessary repairs.

(B2 - 1.2) Windows ; Location: All Accessible



Many windows throughout the house have window glazing is installed in the window frame to secure the glass panes. The glazing on the windows for this home is loose, cracking and missing. The windows need repairs and painting to secure window panes, prevent decay and leaking. A licensed general contractor should be consulted to make necessary repairs.

(B2 - 1.3) Windows ; Location: All Accessible



Nests were noted in a couple of windows. This could be evidence of rodents. While not uncommon, rodent can cause damage to building components and unsanitary conditions. A general contractor or pest management company should be consulted to locate and correct the points of entry and determine the extent of the contamination.

(B2 - 1.4) Windows ; Location: All Accessible



Many windows throughout the house are hard to open or will not open and are in need of repair to ensure proper operation. If in a bedroom the window is the means of emergency egress. It is very important to have a proper method of egress from every sleeping area in case of an emergency such as a fire. A licensed general contractor should be consulted for evaluation and repair.

(B3 - 1) Summary - Exterior: Decks, Porches, Stoops, and Balconies (Defects, Comments, and Concerns):

(B3 - 1.1) Porch ; Location: Main House Front

The masonry steps are in need of repair. Deterioration of the bricks and mortar has created conditions that could result in a trip hazard. The steps should be repaired to ensure safe entry and egress for the home. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

**(B3 - 2) Summary - Exterior: Decks, Porches, Stoops, and Balconies
(Defects, Comments, and Concerns):****(B3 - 2.1) ; Location:**

The brick pavers/tile on the porch pad are cracked/loose. The loose brick/tile has resulted in an uneven walking surface and created an opening where water could enter the foundation area. A licensed general contractor should be consulted for further evaluation, to determine the extent of the concern, and to make necessary repairs.

**(B5 - 1) Summary - Exterior: Vegetation and Grading
(Defects, Comments, and Concerns):****(B5 - 1.1) Vegetation; Location: Main House**

The vegetation around the perimeter of the home is over grown and blocks the air circulation around the home. The growth also limited the inspection access. A landscaping company should be consulted to correct the over growth and the inspection should be completed prior to purchase.

**(C1 - 1) Summary - Roofing: Coverings
(Defects, Comments, and Concerns):****(C1 - 1.1) Main House**



A raised shingle on the front area of the roof surface is in need of repair / replacement. Displaced shingles could indicate an underlying problem with the shingles installation or attic conditions. A licensed roofing contractor should be consulted for a complete evaluation and repair to ensure the weathertightness of the roof covering system.

(C1 - 1.2) Main House



The cap shingles for the ridge section of the roof are not the correct shingle type. Shingle caps for hip areas are most susceptible to wind and storm damage and need to be installed correctly. A licensed roofing contractor should be consulted for a complete evaluation and to make necessary repairs to ensure the weathertightness of the roof covering system.

**(C2 - 1) Summary - Roofing: Drainage Systems
(Defects, Comments, and Concerns):**

(C2 - 1.1) Main House; System Type: Gutter



The gutter tray located left side has been overflowing. The gutter installation and slope needs to be verified. . It is very important to keep gutter functioning properly to reduce direct drainage to the foundation and wall cladding systems. A licensed general contractor should be consulted for a complete evaluation and cleaning of all gutters and to make necessary repairs.

**(C3 - 1) Summary - Roofing: Flashings, Skylights, and Penetrations
(Defects, Comments, and Concerns):**

(C3 - 1.1) Main House; Location: Attic Static Vent



The seam between the roof vent and the roof is heavily caulked and no flashing was visible. Heavy caulking is a temporary repair and an indication of a history of leaking. A licensed roofing contractor should be consulted for evaluation and repair to ensure the weather-tightness of the roof covering system.

**(C4 - 1) Summary - Roofing: Chimneys and Flues
(Defects, Comments, and Concerns):**

(C4 - 1.1) Main House; Location: Chimney: Masonry



The top brick of the chimney are loose and deteriorated. When the top brick and mortar cap is damaged water can enter between the chimney body and the flue liner resulting in leaks and deterioration. A masonry contractor should be consulted for a complete evaluation of the chimney, the flue liner and the masonry crown and to make necessary repairs.

**(C4 - 2) Summary - Roofing: Chimneys and Flues
(Defects, Comments, and Concerns):**

(C4 - 2.1) Addition; Location: Chimney: Masonry



The clean out door is no longer attached on exterior of chimney for family room. A chimney specialist should be consulted for repair

The gas line is routed through the clean out door without a pipe or other device to encase the line to protect it from damage. A plumbing or HVAC contractor should be consulted for a complete evaluation and repair of the gas line installation.

**(D1 - 1) Summary - Plumbing: Water Distribution Systems
(Defects, Comments, and Concerns):**

(D1 - 1.1) All Accessible Areas



The plumbing supply lines for the home are the original steel galvanized pipes. As galvanized pipes age they tend to corrode along the inside diameter and become clogged. Evidence such as, reduced water pressure, discolored water, and visible area of corrosion indicate that the pipes for this home are nearing the end of their service line. Several areas of corrosion and small dripping leaks were noted in the crawl space / basement. A plumbing contractor should be consulted for a full evaluation of the system and to make necessary repairs.

(D2 - 1) Summary - Plumbing: Drain, Waste, & Vent Systems (Defects, Comments, and Concerns):

(D2 - 1.1) All Accessible Areas



The subflooring under the washing machine drain was noted to be soft and decayed. Evidence suggests direct water penetration. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

(D3 - 1) Summary - Plumbing: Water Heating Equipment (Defects, Comments, and Concerns):

(D3 - 1.1) Unit #1 ; Location: Basement



The Temperature Pressure Relief Valve (TPRV) for the water heater is a safety device to prevent the unit from exploding in case of a malfunction. The TPRV is located at the top of the hot water unit and to prevent burn injury in the event of a discharge, the TPRV requires a piped extension down to the floor area. The TPRV for this unit does not have an extension, this is a safety issue that needs to be repaired to prevent personal injury or property damage. A plumbing contractor should be consulted for further evaluation and repair.

(E1 - 1) Summary - Electrical: Main Service (Defects, Comments, and Concerns):

(E1 - 1.1) Overhead



The main electrical service cable which brings the electrical power to the home is routed over the roofline of the home. The cable is lower than typical and could present a safety hazard that could result in serious personal injury and or property damage. The Power Company should be consulted to determine the significance of this concern and if repairs are needed.

(E2 - 1) Summary - Electrical: Main Panels (Defects, Comments, and Concerns):

(E2 - 1.1) Main Panel #1; Location: Kitchen



The 40 amp breaker labeled for the HVAC compressor unit is not compatible with the unit label. The breaker and unit label must be matched to safely provide the required service and ensure that the appliance or components of the branch circuit are protected. This condition presents a safety hazard that could result in interrupted service, property damage, and serious personal injury. A licensed electrical contractor should be consulted for further evaluation and repair.

(E4 - 1) Summary - Electrical: Branch Circuits and Wiring (Defects, Comments, and Concerns):

(E4 - 1.1) Area: Main Panel



The electrical wire feed to the garage protective insulation cover is deteriorated leaving the electrical conductors exposed to weather and possible human contact. This condition presents a safety hazard that could result in serious personal injury and or property damage. A licensed electrical contractor should be consulted for repair/replacement.

(E5 - 1) Summary - Electrical: Light Fixtures, Receptacles, & Smoke Detectors (Defects, Comments, and Concerns):

(E5 - 1.1) Interior spaces



Various receptacles in the house are using 3 prong type receptacles. Many of these tested as open equipment ground. This home was built in an era where receptacles were 2 prong type without an equipment ground. An equipment ground provides an extra safety feature to prevent electrical shock hazards and property damage. Receptacles typically should not be updated to the 3 prong type without the installation of an equipment ground or GFCI protection. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

**(F1 - 1) Summary - Heating: Equipment
(Defects, Comments, and Concerns):**

(F1 - 1.1) Heating Unit #1; Location: Exterior: Basement



The gas furnace burners did not fire when system called for heat and has visible rust in the burner chamber area. The rust indicates deterioration of the exchanger. Deterioration of the heat exchanger is a serious concern that can result in improper combustion and carbon monoxide poisoning. The furnace needs a complete evaluation which should include a heat exchanger inspection to ensure safe, reliable, and proper operation of the HVAC system. A licensed HVAC contractor should be consulted for repair.

**(G1 - 1) Summary - Cooling: Equipment
(Defects, Comments, and Concerns):**

(G1 - 1.1) Cooling Unit #1; Location: Exterior: Basement



The outside compressor/coil unit for the AC system has limited clearance due to over grown vegetation. Manufacturers require clearance around the compressor /coil unit to allow proper air flow to the refrigerant to ensure proper system performance. A HVAC contractor should be consulted for a complete evaluation and repair of the system to ensure reliable and proper operation of the HVAC system.

**(G2 - 1) Summary - Cooling: Distribution Systems
(Defects, Comments, and Concerns):**

(G2 - 1.1) Cooling Unit #1; Access: Basement



Discolorations typical of mold were noted under the insulation at the duct registers. The discoloration is the result of condensation from the AC system. This condition needs further evaluation. The home was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growth in the duct system such as mold an industrial hygienist should be consulted.

(H1 - 1) Summary - Interiors: General Rooms (Defects, Comments, and Concerns):

(H1 - 1.1) Family Room



The light fixture located in family room was not tested because no bulbs were present. The bulbs should be installed and the fixture verified to operate properly. A general repair specialist should be consulted.

(H1 - 1.2) Family Room



The plumbing trap for the sink in family room is an "S" type trap. This trap has a tendency to siphon and become dry allowing sewer gases to enter the home. The trap plumbing needs to be corrected or replaced to prevent sewer gases from entering the home and to ensure sanitary conditions. A licensed plumbing contractor should be consulted for evaluation and repair.

(H1 - 2) Summary - Interiors: General Rooms (Defects, Comments, and Concerns):

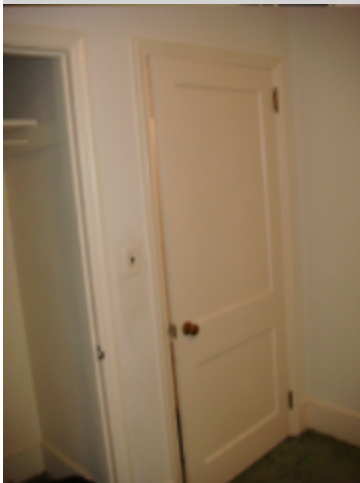
(H1 - 2.1) Bedroom #1 (off kitchen)



The light fixture located in the 1st bedroom was not functional when tested. This could indicate a defective bulb or other more serious problem such as faulty wiring or a defective fixture, further evaluation and repair is needed. A licensed electrical contractor should be consulted for further evaluation and repair.

**(H1 - 3) Summary - Interiors: General Rooms
(Defects, Comments, and Concerns):**

(H1 - 3.1) Bedroom #2 (back right)



The door needs repair to ensure proper operation and privacy. The door did not properly latch, lock, close.

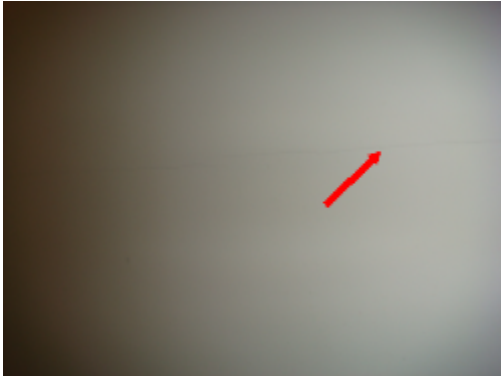
(H1 - 3.2) Bedroom #2 (back right)



The register is in need of further evaluation and repair. The following concerns were noted at the time of the inspection:
1. unknown dark stain on carpet
A HVAC contractor should be consulted for a complete evaluation and to make necessary repairs to ensure safe, reliable, and proper operation of the HVAC system.

**(H1 - 4) Summary - Interiors: General Rooms
(Defects, Comments, and Concerns):**

(H1 - 4.1) Bedroom #3



The ceiling is cracked. No related concerns were noted throughout the adjacent inspection areas. The buyer should review the area of concern. If additional concerns or questions are present, invasive inspection and repair will be needed. A general repair specialist should be consulted for evaluation and repair.

**(H1 - 5) Summary - Interiors: General Rooms
(Defects, Comments, and Concerns):**

(H1 - 5.1) Hall



The smoke detectors for the home were not tested because they were thought to be part of a central alarm system. Testing and maintenance of the smoke alarm system is very important. The smoke detectors should be tested and verified to be operating properly prior to purchasing the home.

**(H1 - 6) Summary - Interiors: General Rooms
(Defects, Comments, and Concerns):**

(H1 - 6.1) Laundry



The faucet for the washing machine was noted to be loose and in poor condition. Repair is needed to ensure proper service. A licensed plumbing contractor should be consulted for evaluation repair/replacement.

**(H2 - 1) Summary - Interiors: Kitchens
(Defects, Comments, and Concerns):**

(H2 - 1.1) Kitchen



The kitchen window needs further evaluation and repair. The window was cracked. A window installation repair specialist or a general contractor should be consulted for further evaluation or repair/replacement.

(H2 - 1.2) Kitchen



The sink faucet had no water flow. A licensed plumbing contractor should be consulted for evaluation and repair to ensure proper service.

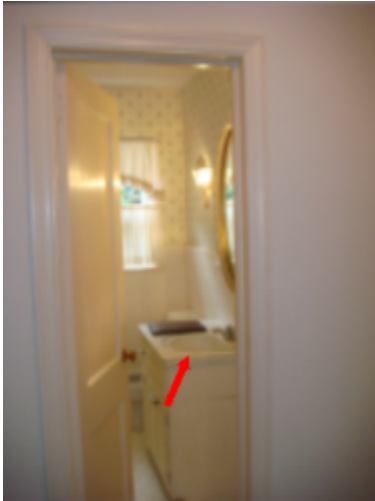
(H2 - 1.3) Kitchen



The ceiling is cracked. No related concerns were noted throughout the adjacent inspection areas. The buyer should review the area of concern. If additional concerns or questions are present, invasive inspection and repair will be needed. A general repair specialist should be consulted for evaluation and repair.

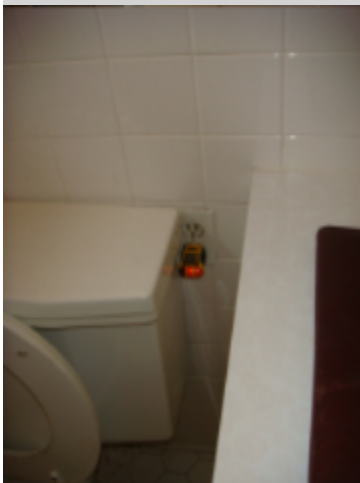
**(H3 - 1) Summary - Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 1.1) Bathroom #1



The sink drain has no stopper. A licensed plumbing contractor should be consulted for evaluation and repair to ensure proper service.

(H3 - 1.2) Bathroom #1



The receptacle located in full bathroom is not GFCI protected, and is in a unsafe location Receptacles located in hazardous or wet locations should be GFCI protected to reduce shock in hazardous locations. A licensed electrical contractor should be consulted for further evaluation and repair.

(H3 - 1.3) Bathroom #1



Mold was noted in bathroom ceiling area. The bathroom was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths such as mold an industrial hygienist should be consulted.

**(H3 - 2) Summary - Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 2.1) Half Bathroom #1



No hot water was available and the sink faucet leaks at the handle base area when turned on. The leaks could result in damage to the sink and cabinet and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to prevent leaks and ensure sanitary conditions.

(H3 - 2.2) Half Bathroom #1



The turn off valve for the toilet is leaking/ corroded. The leak could result in damage to the floor framing and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for evaluation and repair.

(H3 - 2.3) Half Bathroom #1



The plumbing trap for the sink is an "S" type trap. This trap has a tendency to siphon and become dry allowing sewer gases to enter the home. The trap plumbing needs to be corrected or replaced to prevent sewer gases from entering the home and to ensure sanitary conditions. A licensed plumbing contractor should be consulted for evaluation and repair.

(H4 - 1) Summary - Interiors: Garages (Defects, Comments, and Concerns):

(H4 - 1.1) Garage



The exterior trim and boxing of the garage need repairs and painting to prevent further damage and water penetration. The following items were noted during the inspection all areas should be evaluated as a repair plan is prepared. Boxing and trim areas were found to have damage in a few areas related to age, boring bees, gutter overflow, decay, leaking at gutter corners, leaking at gutter seams, and roof drainage flowing behind the gutters. A licensed general contractor should be consulted for a complete evaluation of the exterior siding, trim and boxing to determine the scope of the damage and make necessary repairs.

(H5 - 1) Summary - Interiors: Attic, Basement, Rooms, and Areas (Defects, Comments, and Concerns):

(H5 - 1.1) Attic: Unfinished



The attic gable vents screens are loose. This could allow rodents access to the attic space. A licensed general contractor should be consulted for repair/ replacement.

(H5 - 1.2) Attic: Unfinished



From the attic, the wood framing components located in valley near addition are discolored and decayed. The level of decay indicates a long term leak that could involve hidden areas of damage, the flashing, and the roof covering systems. The area was also wet at the time of the inspection indicating an active leak. A licensed general contractor should be consulted for further evaluation and repair to determine the source of the leak and extent of the damage to ensure the stability of the home and prevent additional damage.

(H5 - 1.3) Attic: Unfinished



Additional Photograph: This is a photograph of history of leak in addition area

(H5 - 2) Summary - Interiors: Attic, Basement, Rooms, and Areas (Defects, Comments, and Concerns):

(H5 - 2.1) Basement: Unfinished Area



A valve located near the basement entrance is leaking. Leaks in the water supply lines should be addressed as soon as possible to prevent property damage and flooding. A licensed plumbing contractor should be consulted to make necessary repairs.

(H5 - 2.2) Basement: Unfinished Area



There is evidence in the form of water lines on the wall surfaces, stains /damage on storage, mud lines in the basement area. Water penetration into foundation areas can result in damage to the foundation and undesirable environmental conditions. The homeowner should be asked for more information regarding the frequency and intensity of water penetration into the basement area. A drainage and waterproofing specialist should be consulted to determine adequacy of the basement waterproofing and drainage systems.

(H5 - 2.3) Basement: Unfinished Area



Evidence suggests that water has entered the basement at the door area. Direct water penetration damages the foundation, the wood structure, and creates an undesirable environment in the crawl space areas that encourages insect, fungal growth such as mold/mildew. A general contractor should be consulted for further evaluation to determine the source of the moisture and necessary repair.

**(H6 - 1) Summary - Interiors: Fireplaces and Stoves
(Defects, Comments, and Concerns):**

(H6 - 1.1) Fireplace: Masonry; Location: Living Room



The fireplace is damper has debris preventing it from opening fully. This is a hazardous condition that needs correction. A licensed general contractor should be consulted for a complete evaluation and repair.

**(H6 - 2) Summary - Interiors: Fireplaces and Stoves
(Defects, Comments, and Concerns):**

(H6 - 2.1) Fireplace: Masonry; Location: Family Room



The gas log unit located the family room has visible soot on the components and damper area. The soot indicates improper operation of the unit and possible obstruction of the exhaust. The gas log unit needs a complete inspection and service that includes the exhaust system; flue and chimney system.

(I1 - 1) Summary - Insulation and Ventilation: Areas (Defects, Comments, and Concerns):

(I1 - 1.1) Attic



The attic space over the left side porch is not accessible and there are no apparent intake or exhaust sources for ventilation. Improper ventilation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for a complete evaluation to determine the significance of the concern and make necessary repairs. (small porches do not require ventilation)

(I1 - 2) Summary - Insulation and Ventilation: Areas (Defects, Comments, and Concerns):

(I1 - 2.1) Crawl Space



A section of insulation in the crawl space under addition has fallen. Improper insulation installation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for repair/ replacement.

(J1 - 1) Summary - Built In Appliances: Equipment (Defects, Comments, and Concerns):

(J1 - 1.1) Dishwasher; Location: Kitchen



The water supply for the dishwasher was turned off at the time of the inspection. The inspector did not have permission or knowledge of the circumstances that required the water to be turned off and therefore did not turn the unit on. The inspection of the dishwasher was not completed because the unit was not operated through one normal cycle. It is recommended that the power be restored and the inspection completed prior to the purchase of the home.

**(J1 - 2) Summary - Built In Appliances: Equipment
(Defects, Comments, and Concerns):**

(J1 - 2.1) Garbage Disposal; Location: Kitchen



The disposal did not operate when turned to the on position. Appliances should be repaired and inspected prior to purchase to ensure safe and proper operation. An appliance repair person should be consulted for full evaluation and repair.

Introduction

This report is a written evaluation that represents the results of a home inspection performed according to North Carolina Home Inspector Licensure Act Standard of Practice. The word "inspect" per the NCHILB SOP means the act of making a visual examination. Home Inspections are limited to visible and accessible areas and are not invasive. The report outlines inspection findings of any systems or components so inspected that did not function as intended and are in need of repair, require subsequent observation such as monitoring, or warrants further investigation by a specialist such as an engineer. The report statements describe the component or system and how the condition is defective, explain the consequences of the condition, and direct the recipient to a course of action with regard to the condition or refer the client to a specialist. It is recommended that all items listed in the body and summary of the report be repaired or evaluated to determine the extent of the concern before purchasing the home. It is the client's responsibility to read the complete inspection report and follow-up with repairs and evaluations. THIS REPORT WAS INTENDED TO BE VIEWED IN COLOR. THE DIRECTIONAL REFERENCE OF LEFT AND RIGHT IS AS FACING THE FRONT OF THE HOME.

Inspection Weather Conditions

Temperature: 84 Deg. F

Weather Conditions: Clear - Sunny

Home Inspection Report Body

A - Structural Section (General Limitations, Implications, and Directions):

All concerns related to structural items identified to be deficient in the following section are in need of further evaluation by a Licensed General Contractor or Engineer. Items in need of repair should be referred to a General Contractor. Items in need of design consideration, evaluation of significance / cause, and or determination of adequacy should be referred to an Engineer. All structural concerns should be evaluated and corrected as needed to ensure the durability and stability of the home. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern. Where accessible foundations, piers, columns, roof and floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

A - Structural Section (Foundation and Attic Inspection Methods):

When accessible and safe the inspector entered inspection areas with small probe, camera, and a standard flash light. Where visible and accessible floor and roof framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members; however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

(A1 - 1) Main House Structural: Foundation (Descriptions):

Foundation Type: Basement: Exterior Entrance Only

Foundation Materials: Brick

(A1 - 1) Structural: Foundation (Defects, Comments, and Concerns):

(A1 - 1.1) Main House



The foundation vents are below grade and protected from drainage by the installation of the window well. The window well area was filled with debris and the ventilation is blocked or restricted. The blocked ventilation could result in undesirable conditions in the foundation area and should be corrected. A licensed general contractor should be consulted for a complete evaluation of the window well system and to make necessary repairs.

(A1 - 1.2) Main House



Areas of standing water were present in the crawl space around the perimeter of the foundation and under the porches. Direct water penetration damages the foundation, the wood structure, and creates an undesirable environment in the crawl space areas that encourages insect, fungal growth such as mold/mildew. Water in the crawl space indicates an absent or damaged waterproofing and foundation drain system. Repairs are needed to prevent water penetration. A general contractor should be consulted for further evaluation to determine the source of the moisture and to make necessary repairs.

(A1 - 1.3) Main House



An opening was installed in the foundation area to install a (item). The adjacent framing that was originally supported by direct bearing on the foundation was not modified or supplemented by a beam or lintel to span across the opening. A general contractor should be consulted for further evaluation and to make necessary repairs to ensure the stability of the framing.

(A1 - 1.4) Main House



The subflooring around the perimeter of the foundation was noted to be soft and decayed. Evidence suggests direct water penetration and or condensation. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

(A1 - 1.5) Main House



Efflorescence (salt stains) was noted on the foundation walls. The stains indicate that the foundation was been cyclically wet and dry. Water penetration into the foundation area can result in structural damage and undesirable environmental conditions. Water in the foundation area indicates an absent or damaged waterproofing and foundation drain systems. Repairs are needed to prevent water penetration. A general contractor should be consulted for further evaluation to determine the source of the moisture and to make necessary repairs.

(A1 - 2) Main House: Addition Structural: Foundation (Descriptions):

Foundation Type: Crawl Space:

Foundation Materials: Block

(A2 - 1) Main House Structural: Columns and Piers (Descriptions):

Column/Pier Type: Pier: Crawl Space

Column/Pier Materials: Block: Brick

(A2 - 1) Structural: Columns and Piers (Defects, Comments, and Concerns):

(A2 - 1.1) Main House



The column located right side porch is not fully bearing on the support base. The improper alignment could indicate improper installation or movement of the column. A licensed general contractor should be consulted for further evaluation and to make necessary repairs.

(A3 - 1) Main House**Structural: Floor Structure****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

Floor framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members, however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

Sub-Floor Type: Dimensional Lumber

Floor Joist Type: Dimensional Lumber: Standard Construction

Girder/Beam Type: Dimensional Lumber: Standard Construction

(A3 - 1) Structural: Floor Structure**(Defects, Comments, and Concerns):****(A3 - 1.1) Main House**

Mold noted in basement/ crawl space area The area was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths such as mold an industrial hygienist should be consulted.

(A3 - 1.2) Main House

The subflooring under the toilet/bathtub/Shower was noted to be soft and decayed. Evidence suggests direct water penetration. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

(A4 - 1) All Interior Areas**Structural: Wall Structure****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The wall structures are not visible for inspection or reporting a structural description.

Wall Structure Type: Finished Areas: Not Accessible for Inspection or Description

(A5 - 1) All Accessible Interior Areas**Structural: Ceiling Structure****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The ceiling structures are not visible for inspection or reporting a structural description.

Ceiling Joist Type: Dimensional Lumber: Standard Construction: Wood

Beam/Girder Type: Not Visible: Not Accessible For Inspection or Description

(A6 - 1) Main House**Structural: Roof Structure****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

Roof framing systems are inspected for visual defects such as broken, cracked, decayed, or damaged members, however, the evaluation of the system for design points such as correct span, load transfer, and or building code compliance is beyond the scope of the home inspection.

Roof Style/Type: Gable

Roof Sheathing Type: Dimensional Lumber/ Plywood

Rafter & Beam Types: Dimensional Lumber: Standard Construction

(A6 - 2) Attic**Structural: Roof Structure (Descriptions):**

Roof Style/Type: Gable

Roof Sheathing Type: Dimensional Lumber

Rafter & Beam Types: Dimensional Lumber: Standard Construction

(A6 - 2) Structural: Roof Structure (Defects, Comments, and Concerns):

(A6 - 2.1) Attic



From the attic, the ridge board support for front right gable were noted to be bowed or warped beyond what would be typically expected. The bowing could indicate an underlying problem with the design, installation, or attic conditions. An engineer should be consulted for further evaluation to determine the significance of the concern and outline necessary repairs to ensure the stability of the structure.

(A6 - 2.2) Attic



From the exterior of the home, the roof surface has visible sag along the ridge. A licensed general contractor should be consulted for further evaluation and repair to ensure the stability of the structure.

(A6 - 2.3) Attic



A rafter collar tie is not secure and are separating. A general contractor should be consulted for further evaluation to determine the significance of the concern and outline necessary repairs to ensure the stability of the structure.

B - Exterior Section

(General Limitations, Implications, and Directions):

All concerns related to exterior items listed below or identified to be deficient are in need of further evaluation and or repair by a Licensed General Contractor. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. It is important to have the exterior areas of concern evaluated / repaired prior to purchase. It is important to correct deficiencies on the exterior of the home to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. Repairs and evaluations should be made prior to closing to ensure that the buyer understands the full scope or extent of the concern.

(B1 - 1) Main House

Exterior: Wall Cladding (Descriptions):

Wall Cladding Type: Brick Veneer

Trim Type: Wood Clad: Aluminum

(B1 - 1) Exterior: Wall Cladding

(Defects, Comments, and Concerns):

(B1 - 1.1) Main House



Cracks were noted above /below the windows/doors in the brick veneer. Cracks in brick veneer indicate a deficiency that can change or progress over the life of the home. The cracks on this home were closed at the time of the inspection and presented no visible evidence of progression to the foundation areas. The buyer should observe the cracks and assess their concerns related to the presence of the cracks, the number of cracks, and possibility of the condition worsening over the life of the home. If the buyer has additional concerns an engineer should be consulted to determine the significance of the cracking.

(B1 - 1.2) Main House



The right side exterior trim at the roof eave of the home need repairs to prevent further damage and water penetration. A licensed general contractor should be consulted for a complete evaluation of the exterior siding, trim and boxing to determine the scope of the damage and make necessary repairs.

**(B1 - 2) Main House Rear
 Exterior: Wall Cladding (Descriptions):**

Wall Cladding Type: Vinyl Horizontal
Trim Type: Wood Clad: Aluminum

**(B2 - 1) Windows
 Exterior: Windows and Doors
 (Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The window trim is covered with aluminum and it was not possible to determine the condition of the trim. A licensed general contractor should be consulted.

Window/Door Type: Window: Double Hung
Location: All Accessible

**(B2 - 1) Exterior: Windows and Doors
 (Defects, Comments, and Concerns):**

(B2 - 1.1) Windows



The paint is loose, peeling, on the wood trim 3rd bedroom (front) The exposed wood is subject to deterioration and decay. The windows and trim need paint and repair to prevent leaking, deterioration, and decay. A licensed general contractor should be consulted to evaluate the extent of the damage and make necessary repairs.

(B2 - 1.2) Windows



Many windows throughout the house have window glazing is installed in the window frame to secure the glass panes. The glazing on the windows for this home is loose, cracking and missing. The windows need repairs and painting to secure window panes, prevent decay and leaking. A licensed general contractor should be consulted to make necessary repairs.

(B2 - 1.3) Windows



Nests were noted in a couple of windows. This could be evidence of rodents. While not uncommon, rodent can cause damage to building components and unsanitary conditions. A general contractor or pest management company should be consulted to locate and correct the points of entry and determine the extent of the contamination.

(B2 - 1.4) Windows



Many windows throughout the house are hard to open or will not open and are in need of repair to ensure proper operation. If in a bedroom the window is the means of emergency egress. It is very important to have a proper method of egress from every sleeping area in case of an emergency such as a fire. A licensed general contractor should be consulted for evaluation and repair.

(B2 - 2) Door (front)**Exterior: Windows and Doors (Descriptions):***Window/Door Type:* Door: Single*Location:* Main House Front**(B2 - 3) Door (back)****Exterior: Windows and Doors (Descriptions):***Window/Door Type:* Door: Patio: Sliding*Location:* Addition Left**(B2 - 4) Door (side)****Exterior: Windows and Doors (Descriptions):***Window/Door Type:* Door: Single*Location:* Main House Left**(B2 - 5) Door (basement)****Exterior: Windows and Doors (Descriptions):***Window/Door Type:* Door: Single*Location:* Main House Rear**(B3 - 1) Porch****Exterior: Decks, Porches, Stoops, and Balconies****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The foundation area of the front porch could not be entered. The porch has visible defects that indicate the need for further investigation of the foundation area. Refer to the report statements listed below.

Structure Type: Masonry (Tile Surface)*Location:* Main House Front**(B3 - 1) Exterior: Decks, Porches, Stoops, and Balconies****(Defects, Comments, and Concerns):****(B3 - 1.1) Porch**

The masonry steps are in need of repair. Deterioration of the bricks and mortar has created conditions that could result in a trip hazard. The steps should be repaired to ensure safe entry and egress for the home. A licensed general contractor should be consulted for a complete evaluation and to make necessary repairs.

(B3 - 2)**Exterior: Decks, Porches, Stoops, and Balconies (Descriptions):***Structure Type:**Location:***(B3 - 2) Exterior: Decks, Porches, Stoops, and Balconies****(Defects, Comments, and Concerns):****(B3 - 2.1)**

The brick pavers/tile on the porch pad are cracked/loose. The loose brick/tile has resulted in an uneven walking surface and created an opening where water could enter the foundation area. A licensed general contractor should be consulted for further evaluation, to determine the extent of the concern, and to make necessary repairs.

(B4 - 1) Patio**Exterior: Driveways, Patios, Walks, and Retaining Walls (Descriptions):***Construction Type:* Flat Stones/Tiles/Pavers*Location:* Main House Rear**(B5 - 1) Vegetation****Exterior: Vegetation and Grading (Descriptions):***Location:* Main House**(B5 - 1) Exterior: Vegetation and Grading
(Defects, Comments, and Concerns):****(B5 - 1.1) Vegetation**

The vegetation around the perimeter of the home is over grown and blocks the air circulation around the home. The growth also limited the inspection access. A landscaping company should be consulted to correct the over growth and the inspection should be completed prior to purchase.

C - Roofing Section**(General Limitations, Implications, and Directions):**

The roof covering, chimney, flashings, and roof drainage items listed or identified below were found to be of concern and in need of further evaluation and repair by Licensed Roofing or General Contractor. Chimney related items listed or identified were found to be of concern and in need of further evaluation and repair by a General Contractor and or Engineer. It is important to correct roofing deficiencies to prevent direct water penetration into the building envelope which can result in structural damage and or undesirable environmental conditions. The verification of fastener type and count for the roofing covering system is beyond the scope of the home inspection. The home inspection is limited to visible surfaces and systems only, hidden or underlying system details such as flashings are beyond the scope of the home inspection. Determining the age or remaining service life of the roof covering systems is beyond the scope of the home inspection, if the buyer would like to budget for replacement a roofing contractor should be consulted to answer questions related to the life expectancy. Flashings and Roof gutters system inspections are limited to evidence of past problems unless the inspection is performed during a heavy rain. All roof drainage and flashing systems should be monitored over the first year of ownership to identify problems areas or areas that may need adjustment or corrections. Chimney inspections are limited to the visible surfaces only, flue liners, chimney caps, chimney crowns are not visible and therefore beyond the scope of the home inspection. Chimneys should have complete inspections by a specialist annually and prior to use.

C - Roofing Section**(Roof Covering Inspection Methods):**

The roof covering was inspected using binoculars / zoom camera and from a ladder at the roof eaves. Walking on the roof surface is beyond the scope of the home inspection. If an invasive or complete surface inspection of the roof covering is desired, the buyer should consult a licensed roofing contractor prior to purchase.

(C1 - 1) Main House**Roofing: Coverings****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

Flashings are not visible due to construction methods, siding prevents inspection access of flashings at porch area. Since flashings are not fully visible, defects related to flashings are only discoverable when indications of direct water penetration or decay are located.

Roof Covering Type: Shingles/Composite/Fiberglass**(C1 - 1) Roofing: Coverings****(Defects, Comments, and Concerns):****(C1 - 1.1) Main House**



A raised shingle on the front area of the roof surface is in need of repair / replacement. Displaced shingles could indicate an underlying problem with the shingles installation or attic conditions. A licensed roofing contractor should be consulted for a complete evaluation and repair to ensure the weathertightness of the roof covering system.

(C1 - 1.2) Main House



The cap shingles for the ridge section of the roof are not the correct shingle type. Shingle caps for hip areas are most susceptible to wind and storm damage and need to be installed correctly. A licensed roofing contractor should be consulted for a complete evaluation and to make necessary repairs to ensure the weathertightness of the roof covering system.

(C2 - 1) Main House

Roofing: Drainage Systems

(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

Gutter systems are not inspected for design or sizing. Gutter systems are inspected for damage or evidence that they are not functioning.

System Type: Gutter

(C2 - 1) Roofing: Drainage Systems

(Defects, Comments, and Concerns):

(C2 - 1.1) Main House



The gutter tray located left side has been overflowing. The gutter installation and slope needs to be verified. . It is very important to keep gutter functioning properly to reduce direct drainage to the foundation and wall cladding systems. A licensed general contractor should be consulted for a complete evaluation and cleaning of all gutters and to make necessary repairs.

(C3 - 1) Main House

Roofing: Flashings, Skylights, and Penetrations (Descriptions):

System Type: Attic Static Vent

(C3 - 1) Roofing: Flashings, Skylights, and Penetrations

(Defects, Comments, and Concerns):

(C3 - 1.1) Main House



The seam between the roof vent and the roof is heavily caulked and no flashing was visible. Heavy caulking is a temporary repair and an indication of a history of leaking. A licensed roofing contractor should be consulted for evaluation and repair to ensure the weather-tightness of the roof covering system.

(C4 - 1) Main House

Roofing: Chimneys and Flues

(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

The chimney inspection does not include the inspection of the flue. All chimneys should have a complete inspection that includes the flue liner prior to use especially for wood burning. A chimney sweep or specialist should be consulted prior to purchase.

Type: Chimney: Masonry

(C4 - 1) Roofing: Chimneys and Flues

(Defects, Comments, and Concerns):

(C4 - 1.1) Main House

The top brick of the chimney are loose and deteriorated. When the top brick and mortar cap is damaged water can enter between the chimney body and the flue liner resulting in leaks and deterioration. A masonry contractor should be consulted for a complete evaluation of the chimney, the flue liner and the masonry crown and to make necessary repairs.

(C4 - 2) Addition**Roofing: Chimneys and Flues****(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The chimney inspection does not include the inspection of the flue. All chimneys should have a complete inspection that includes the flue liner prior to use especially for wood burning. A chimney sweep or specialist should be consulted prior to purchase.

Type: Chimney: Masonry

**(C4 - 2) Roofing: Chimneys and Flues
(Defects, Comments, and Concerns):****(C4 - 2.1) Addition**

The clean out door is no longer attached on exterior of chimney for family room. A chimney specialist should be consulted for repair

The gas line is routed through the clean out door without a pipe or other device to encase the line to protect it from damage. A plumbing or HVAC contractor should be consulted for a complete evaluation and repair of the gas line installation.

D - Plumbing Section**(General Limitations, Implications, and Directions):**

All plumbing and water heating items listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed Plumbing or General Contractor. If additional concerns are discovered during the process of evaluation and repair, a general contractor should be consulted to contact specialist in each trade as needed. Repairs are needed to prevent leaks and ensure proper sanitation. The majority of the water supply and the waste lines are concealed from visual inspection and the general condition cannot be determined. The plumbing was inspected for functional flow and drainage; however, it is not possible to fully evaluate the plumbing system to determine proper venting, sizing, or functional design during a home inspection when the system cannot be put under the same load as presented by a family. The inspection of the water heater does not include evaluating the unit capacity for functional use based on the number bathrooms or fixtures. The hot water requirement for daily use varies with each family and the home inspector has not developed an opinion whether or not the hot water system for this home is adequate. The inspection does not include verification of anti-scald fixtures. The inspection does not assure that the plumbing systems and components of the home will meet the demands of your family. Determining the quality and quantity of the water supply is beyond the scope of the home inspection, this includes determining if water supply is acidic or has high mineral content. Fixtures are not identified as defective as the result of hard water or mineral stains. The effectiveness of the toilet flush and the verification of the drain for the washing machine are beyond the scope of the home inspection. The main water turn off valve location is identified if located, but not operated. The functional flow of the water supply at each accessible fixture was tested. Functional flow is not found and reported as defective unless water flow drops below 50% when two fixtures are operated simultaneously. Waste and supply lines are evaluated by running water inside the home, the condition of the inside of the plumbing pipes cannot be determined. Verification of the surface defects on plumbing fixtures such as shower/tubs/sinks is beyond the scope of the inspection. Backflow protection is not a requirement for all homes, and determining the presence or absence of backflow protection is beyond the scope of the inspection. Annual service and inspection of the main waste line will prevent system clogging and backup. The plumbing inspection is a limited functional evaluation made under little to no system load. If the buyer would like to know the condition of the interior of the plumbing lines, the buyer should consult a licensed plumbing contractor prior to purchase.

D - Plumbing Section**(Main Water Shut-Off Location, Water Supply Type, and Water Supply Piping Materials):**

Main Shut-Off Location: Not Located

Water Supply Type: Public

Supply Piping Materials: [Copper/Brass] [Galvanized] [PEX]

**(D1 - 1) All Accessible Areas
Plumbing: Water Distribution Systems (Descriptions):**

Piping Materials: [Copper/Brass] [Galvanized] [PEX]

**(D1 - 1) Plumbing: Water Distribution Systems
(Defects, Comments, and Concerns):**

(D1 - 1.1) All Accessible Areas



The plumbing supply lines for the home are the original steel galvanized pipes. As galvanized pipes age they tend to corrode along the inside diameter and become clogged. Evidence such as, reduced water pressure, discolored water, and visible area of corrosion indicate that the pipes for this home are nearing the end of their service line. Several areas of corrosion and small dripping leaks were noted in the crawl space / basement. A plumbing contractor should be consulted for a full evaluation of the system and to make necessary repairs.

**(D2 - 1) All Accessible Areas
Plumbing: Drain, Waste, and Vent Systems (Descriptions):**

Piping Materials: [Cast Iron] [PVC]

Trap Materials: [Metal] [Plastic]

**(D2 - 1) Plumbing: Drain, Waste, and Vent Systems
(Defects, Comments, and Concerns):**

(D2 - 1.1) All Accessible Areas



The subflooring under the washing machine drain was noted to be soft and decayed. Evidence suggests direct water penetration. A licensed general contractor should be consulted for an invasive investigation to determine the source of the water penetration and the extent of the decay to prevent further damage and undesirable conditions.

**(D3 - 1) Unit #1
Plumbing: Water Heating Equipment
(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):**

The inspection of the water heater does not include evaluating the unit capacity for functional use based on the number bathrooms or fixtures. The hot water requirement for daily use varies with each family and the home inspector has not developed an opinion whether or not the hot water system for this home is adequate.

Location: Basement

Capacity: 40 Gallons

Energy Source: Electric

**(D3 - 1) Plumbing: Water Heating Equipment
(Defects, Comments, and Concerns):**

(D3 - 1.1) Unit #1



The Temperature Pressure Relief Valve (TPRV) for the water heater is a safety device to prevent the unit from exploding in case of a malfunction. The TPRV is located at the top of the hot water unit and to prevent burn injury in the event of a discharge, the TPRV requires a piped extension down to the floor area. The TPRV for this unit does not have an extension, this is a safety issue that needs to be repaired to prevent personal injury or property damage. A plumbing contractor should be consulted for further evaluation and repair.

**E - Electrical Section
 (General Limitations, Implications, and Directions):**

All Electrical items listed below that were found to be of concern and in need of further evaluation and repair by a Licensed Electrical Contractor. When repairs are made the complete electrical system should be evaluated. Electrical issues are safety concerns and should be repaired immediately. During a home inspection, it is not possible to place a home under a full loading condition that would evaluate the capacity of the electrical system. The electrical system was evaluated based on current systems and components and no consideration was made to future expansion or modernizations. The electrical system of this home is based on historical components that were manufactured prior to the installation of the equipment ground and the three prong receptacle. As with any system, the addition of new systems and appliances may require electrical system replacement, modifications, and or upgrades.

**E - Electrical Section
 (Presence or Absence of Smoke Detectors and Carbon Monoxide Detectors):**

Smoke Detectors are Present in this Home Carbon Monoxide Detectors are Not Present in this Home

**(E1 - 1) Type: Overhead
 Electrical: Main Service (Descriptions):**

Grounding Electrode: Undetermined

**(E1 - 1) Electrical: Main Service
 (Defects, Comments, and Concerns):**

(E1 - 1.1) Type: Overhead



The main electrical service cable which brings the electrical power to the home is routed over the roofline of the home. The cable is lower than typical and could present a safety hazard that could result in serious personal injury and or property damage. The Power Company should be consulted to determine the significance of this concern and if repairs are needed.

**(E2 - 1) Main Panel #1
 Electrical: Main Panels (Descriptions):**

<i>Location:</i>	Kitchen	<i>Amperage Rating:</i>	150 Amps
<i>Service Cable Material:</i>	Aluminum	<i>Voltage Rating:</i>	120/240 Volts, 1 Phase

**(E2 - 1) Electrical: Main Panels
 (Defects, Comments, and Concerns):**

(E2 - 1.1) Main Panel #1



The 40 amp breaker labeled for the HVAC compressor unit is not compatible with the unit label. The breaker and unit label must be matched to safely provide the required service and ensure that the appliance or components of the branch circuit are protected. This condition presents a safety hazard that could result in interrupted service, property damage, and serious personal injury. A licensed electrical contractor should be consulted for further evaluation and repair.

**(E4 - 1) Area: Main Panel
 Electrical: Branch Circuits and Wiring (Descriptions):**

Observed Wiring Materials: [Non Metallic Sheathed Cable-Plastic] [Non Metallic Sheathed Cable-Rag]

**(E4 - 1) Electrical: Branch Circuits and Wiring
 (Defects, Comments, and Concerns):**

(E4 - 1.1) Area: Main Panel



The electrical wire feed to the garage protective insulation cover is deteriorated leaving the electrical conductors exposed to weather and possible human contact. This condition presents a safety hazard that could result in serious personal injury and or property damage. A licensed electrical contractor should be consulted for repair/replacement.

(E5 - 1) Electrical: Light Fixtures, Receptacles, Smoke Detectors (Defects, Comments, and Concerns):

(E5 - 1.1) Interior spaces



Various receptacles in the house are using 3 prong type receptacles. Many of these tested as open equipment ground. This home was built in an era where receptacles were 2 prong type without an equipment ground. An equipment ground provides an extra safety feature to prevent electrical shock hazards and property damage. Receptacles typically should not be updated to the 3 prong type without the installation of an equipment ground or GFCI protection. A licensed electrical contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to correct defects and prevent safety hazards.

F - Heating Section (General Limitations, Implications, and Directions):

All concerns related to the Heating System/Systems identified to be deficient in the following section are hazardous, create conditions that will stop the system from functioning, and / or are a safety concern to the occupants of this home. The seasonal inspection of the HVAC systems during a home inspection is a non-invasive visual inspection that may not reveal internal problems. If an complete invasive inspection is desired a HVAC contractor should be consulted prior to purchase. All concerns are in need of further evaluation by a Licensed HVAC Contractor.

(F1 - 1) Heating Unit #1 Heating: Equipment (Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

The home has a gas furnace and a gas log unit. It is recommended that all homes with gas appliances have carbon monoxide detector installed. This home does not have carbon monoxide detectors. Installation is recommended. For a summer inspection, furnaces are visually inspected, however, not operated because the AC system is the key system that is evaluated. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC systems. If an invasive inspection is desired, a HVAC service company should be consulted prior to closing. To keep your unit operating safely and efficiently, a qualified service technician should check the entire system seasonally. If an invasive inspection is desired, a HVAC service company should be consulted prior to closing. To keep your unit operating safely and efficiently, a qualified service technician should check the entire system seasonally.

Location: Exterior: Basement

Equipment Type: Heat Pump: Hybrid Split (Gas) Energy Source: Natural Gas

(F1 - 1) Heating: Equipment (Defects, Comments, and Concerns):

(F1 - 1.1) Heating Unit #1



The gas furnace burners did not fire when system called for heat and has visible rust in the burner chamber area. The rust indicates deterioration of the exchanger. Deterioration of the heat exchanger is a serious concern that can result in improper combustion and carbon monoxide poisoning. The furnace needs a complete evaluation which should include a heat exchanger inspection to ensure safe, reliable, and proper operation of the HVAC system. A licensed HVAC contractor should be consulted for repair.

(F2 - 1) Heating Unit Served: Heating Unit #1 Heating: Distribution Systems (Descriptions):

Location: Basement

System Type: Forced Air: Metal Box: Metal Branch

(F2 - 2) Heating Unit Served: Heating Unit #1
Heating: Distribution Systems
(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

The inspection of the heating system was limited to a visual inspection of the accessible components and operation with normal controls. Note: only a licensed Heating contractor with specialized equipment can determine if a system is sized properly and functioning within the manufacturer's specifications.

Location: Crawl Space

System Type: Forced Air: Fiber Box: Flexible Branch

(F3 - 1) Basement
Heating: Gas Piping and Fuel Storage Systems (Descriptions):

Gas Piping Materials: Black Steel

Fuel Turn Off Location: At Furnace

G - Cooling Section
(General Limitations, Implications, and Directions):

All cooling system concerns listed or identified below were found to be of concern and in need of further evaluation and repair by a Licensed HVAC Contractor to ensure safe, proper, and reliable operation of the HVAC system. The removal of the unit covers to view coils and fans provided for service by a qualified service technician is beyond the scope of the home inspection. If an invasive inspection is desired, a HVAC service company should be consulted prior to closing. To keep your unit operating safely and efficiently, a qualified service technician should check the entire system seasonally. Unless otherwise noted, the air conditioning system was operated during the inspection. The system outputs are evaluated based on typical HVAC systems design specifications of 75 °F interior temperatures on 90°F days. Determining system performance for extreme weather days or consumer desire for room temperature below 75 °F is beyond the scope of the home inspection. Comfort levels vary from person to person and therefore are not the focus of a home inspection. The homeowner should be asked for disclosure related to the performance, service, and maintenance history of the HVAC systems.

(G1 - 1) Cooling Unit #1
Cooling: Equipment (Descriptions):

Location: Exterior: Basement

Equipment Type: Heat Pump: Split System

Energy Source: Electric

(G1 - 1) Cooling: Equipment
(Defects, Comments, and Concerns):

(G1 - 1.1) Cooling Unit #1



The outside compressor/coil unit for the AC system has limited clearance due to over grown vegetation. Manufacturers require clearance around the compressor /coil unit to allow proper air flow to the refrigerant to ensure proper system performance. A HVAC contractor should be consulted for a complete evaluation and repair of the system to ensure reliable and proper operation of the HVAC system.

(G2 - 1) Cooling Unit Served: Cooling Unit #1
Cooling: Distribution Systems (Descriptions):

Location: Basement

System Type: Forced Air: Metal Box: Metal Branch

(G2 - 1) Cooling: Distribution Systems
(Defects, Comments, and Concerns):

(G2 - 1.1) Cooling Unit Served: Cooling Unit #1



Discolorations typical of mold were noted under the insulation at the duct registers. The discoloration is the result of condensation from the AC system. This condition needs further evaluation. The home was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growth in the duct system such as mold an industrial hygienist should be consulted.

(G2 - 2) Cooling Unit Served: Cooling Unit #1 Cooling: Distribution Systems (Descriptions):

Location: Crawl Space

System Type: Forced Air: Metal Box: Flexible Branch

H - Interiors Section (General Limitations, Implications, and Directions):

The interior rooms of the home were visually inspected. The inspection was not invasive and therefore was limited. One window and one receptacle were tested in each room unless furniture or storage blocked the access. Identifying cloudy windows is beyond the scope of the home inspection. The severity of the hazing varies with season and time of the day; therefore, damaged windows may not be visible at the time of the inspection. Light fixtures were operated from at least one switch. Unless labeled, multiple switch locations may not be identified. Confirmation of multiple position switches is only possible when all switches can be identified and this is not possible if switches are improperly installed. Every light fixture has specific bulb wattage limitations. During the home inspection it is not possible to verify bulb type and size. Homeowners should verify bulb type and wattage for each fixture to prevent fixture damage and ensure proper operation. Cosmetic concerns for example: worn carpets, poor floor finish, open seams in hardwoods, torn wallpaper, poor/damaged paint finish, worn cabinets, worn hinges, damaged window blinds/shades, evidence of pets, and evidence of smoking are beyond the scope of the home inspection. Personal property such as storage, refrigerators, washers, dryers, rugs, furniture, clothes, and wall hangings are not moved and therefore limit the inspection. The overall floor areas in most furnished rooms are not visible and therefore identifying slopes may not be possible. Furniture and personal items can conceal defects and change the overall feel of a home. The buyer should view the home when furnishing and personal items have been removed prior to the purchase. The inspection of the garage does not include moving personal property and or storage. The verification of fire separation systems between the house and the garage such as doors and ceilings is beyond the scope of the home inspection. The washing machine and dryer are considered personal property and the inspection of these appliances are beyond the scope of the home inspection. Washing machines often leak resulting in hidden damage to areas that are not visible to the home inspector and Household fires related to clothes dryers are very common. The presence of the washer and dryer greatly limit the inspection of the laundry area. After the washer and dryer have been removed and prior to the purchase of the home, the buyer should view the laundry room for damage or concerns. Before the installation of your washer and dryer, the installer should inspect and verify the washer drain, the dryer exhaust duct, and the electrical service receptacles.

(H1 - 1) Family Room Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]

Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H1 - 1) Interiors: General Rooms (Defects, Comments, and Concerns):

(H1 - 1.1) Family Room



The light fixture located in family room was not tested because no bulbs were present. The bulbs should be installed and the fixture verified to operate properly. A general repair specialist should be consulted.

(H1 - 1.2) Family Room



The plumbing trap for the sink in family room is an "S" type trap. This trap has a tendency to siphon and become dry allowing sewer gases to enter the home. The trap plumbing needs to be corrected or replaced to prevent sewer gases from entering the home and to ensure sanitary conditions. A licensed plumbing contractor should be consulted for evaluation and repair.

(H1 - 2) Bedroom #1 (off kitchen)
Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]
Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H1 - 2) Interiors: General Rooms
(Defects, Comments, and Concerns):

(H1 - 2.1) Bedroom #1 (off kitchen)



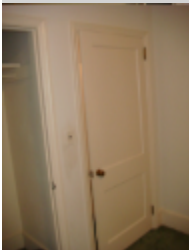
The light fixture located in the 1st bedroom was not functional when tested. This could indicate a defective bulb or other more serious problem such as faulty wiring or a defective fixture, further evaluation and repair is needed. A licensed electrical contractor should be consulted for further evaluation and repair.

(H1 - 3) Bedroom #2 (back right)
Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]
Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H1 - 3) Interiors: General Rooms
(Defects, Comments, and Concerns):

(H1 - 3.1) Bedroom #2 (back right)



The door needs repair to ensure proper operation and privacy. The door did not properly latch, lock, close.

(H1 - 3.2) Bedroom #2 (back right)



The register is in need of further evaluation and repair. The following concerns were noted at the time of the inspection:
 1. unknown dark stain on carpet
 A HVAC contractor should be consulted for a complete evaluation and to make necessary repairs to ensure safe, reliable, and proper operation of the HVAC system.

(H1 - 4) Bedroom #3
Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]
Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H1 - 4) Interiors: General Rooms
(Defects, Comments, and Concerns):

(H1 - 4.1) Bedroom #3



The ceiling is cracked. No related concerns were noted throughout the adjacent inspection areas. The buyer should review the area of concern. If additional concerns or questions are present, invasive inspection and repair will be needed. A general repair specialist should be consulted for evaluation and repair.

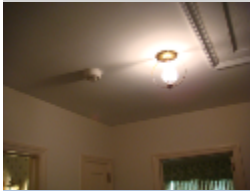
(H1 - 5) Hall

Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]

(H1 - 5) Interiors: General Rooms (Defects, Comments, and Concerns):

(H1 - 5.1) Hall



The smoke detectors for the home were not tested because they were thought to be part of a central alarm system. Testing and maintenance of the smoke alarm system is very important. The smoke detectors should be tested and verified to be operating properly prior to purchasing the home.

(H1 - 6) Laundry

Interiors: General Rooms (Descriptions):

Additional Information: [Finished Area]

(H1 - 6) Interiors: General Rooms (Defects, Comments, and Concerns):

(H1 - 6.1) Laundry



The faucet for the washing machine was noted to be loose and in poor condition. Repair is needed to ensure proper service. A licensed plumbing contractor should be consulted for evaluation repair/replacement.

(H2 - 1) Kitchen

Interiors: Kitchens (Descriptions):

Additional Information: [Finished Area]

Heating/Cooling: [Heating Source Noted] [Cooling Source Noted]

(H2 - 1) Interiors: Kitchens (Defects, Comments, and Concerns):

(H2 - 1.1) Kitchen



The kitchen window needs further evaluation and repair. The window was cracked. A window installation repair specialist or a general contractor should be consulted for further evaluation or repair/replacement.

(H2 - 1.2) Kitchen



The sink faucet had no water flow. A licensed plumbing contractor should be consulted for evaluation and repair to ensure proper service.

(H2 - 1.3) Kitchen



The ceiling is cracked. No related concerns were noted throughout the adjacent inspection areas. The buyer should review the area of concern. If additional concerns or questions are present, invasive inspection and repair will be needed. A general repair specialist should be consulted for evaluation and repair.

(H3 - 1) Bathroom #1

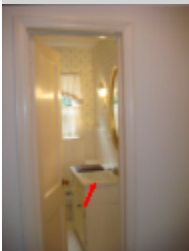
Interiors: Bathrooms (Descriptions):

Electrical Receptacle: Electrical Receptacle Present in Bathroom

Bathroom Ventilation: [Operable Window]

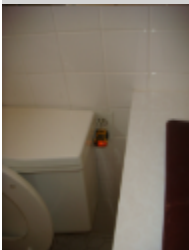
**(H3 - 1) Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 1.1) Bathroom #1



The sink drain has no stopper. A licensed plumbing contractor should be consulted for evaluation and repair to ensure proper service.

(H3 - 1.2) Bathroom #1



The receptacle located in full bathroom is not GFCI protected, and is in a unsafe location Receptacles located in hazardous or wet locations should be GFCI protected to reduce shock in hazardous locations. A licensed electrical contractor should be consulted for further evaluation and repair.

(H3 - 1.3) Bathroom #1



Mold was noted in bathroom ceiling area. The bathroom was inspected for moisture concerns and evidence of wood damage; however, health related issues concerning mold are beyond the scope of the home inspection. If the buyer has additional concerns related to the presence of the fungal growths such as mold an industrial hygienist should be consulted.

(H3 - 2) Half Bathroom #1

Interiors: Bathrooms (Descriptions):

Electrical Receptacle: Electrical Receptacle Present in Bathroom

Bathroom Ventilation: [Operable Window]

**(H3 - 2) Interiors: Bathrooms
(Defects, Comments, and Concerns):**

(H3 - 2.1) Half Bathroom #1



No hot water was available and the sink faucet leaks at the handle base area when turned on. The leaks could result in damage to the sink and cabinet and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for a complete evaluation to determine the significance of this concern and make necessary repairs to prevent leaks and ensure sanitary conditions.

(H3 - 2.2) Half Bathroom #1



The turn off valve for the toilet is leaking/ corroded. The leak could result in damage to the floor framing and should be repaired as soon as possible. A licensed plumbing contractor should be consulted for evaluation and repair.

(H3 - 2.3) Half Bathroom #1



The plumbing trap for the sink is an "S" type trap. This trap has a tendency to siphon and become dry allowing sewer gases to enter the home. The trap plumbing needs to be corrected or replaced to prevent sewer gases from entering the home and to ensure sanitary conditions. A licensed plumbing contractor should be consulted for evaluation and repair.

(H4 - 1) Garage

Interiors: Garages (Descriptions):

Door Inspection Method: Garage Door was not operated

(H4 - 1) Interiors: Garages

(Defects, Comments, and Concerns):

(H4 - 1.1) Garage



The exterior trim and boxing of the garage need repairs and painting to prevent further damage and water penetration. The following items were noted during the inspection all areas should be evaluated as a repair plan is prepared. Boxing and trim areas were found to have damage in a few areas related to age, boring bees, gutter overflow, decay, leaking at gutter corners, leaking at gutter seams, and roof drainage flowing behind the gutters. A licensed general contractor should be consulted for a complete evaluation of the exterior siding, trim and boxing to determine the scope of the damage and make necessary repairs.

(H5 - 1) Attic: Unfinished

Interiors: Attics. Basements, Areas, Rooms (Descriptions):

Additional Information: [Finished Area]

(H5 - 1) Interiors: Attics. Basements, Areas, Rooms

(Defects, Comments, and Concerns):

(H5 - 1.1) Attic: Unfinished



The attic gable vents screens are loose. This could allow rodents access to the attic space. A licensed general contractor should be consulted for repair/ replacement.

(H5 - 1.2) Attic: Unfinished



From the attic, the wood framing components located in valley near addition are discolored and decayed. The level of decay indicates a long term leak that could involve hidden areas of damage, the flashing, and the roof covering systems. The area was also wet at the time of the inspection indicating an active leak. A licensed general contractor should be consulted for further evaluation and repair to determine the source of the leak and extent of the damage to ensure the stability of the home and prevent additional damage.

(H5 - 1.3) Attic: Unfinished



Additional Photograph: This is a photograph of history of leak in addition area

(H5 - 2) Basement: Unfinished Area

Interiors: Attics, Basements, Areas, Rooms (Descriptions):

Additional Information: [Finished Area]

(H5 - 2) Interiors: Attics, Basements, Areas, Rooms (Defects, Comments, and Concerns):

(H5 - 2.1) Basement: Unfinished Area



A valve located near the basement entrance is leaking. Leaks in the water supply lines should be addressed as soon as possible to prevent property damage and flooding. A licensed plumbing contractor should be consulted to make necessary repairs.

(H5 - 2.2) Basement: Unfinished Area



There is evidence in the form of water lines on the wall surfaces, stains /damage on storage, mud lines in the basement area. Water penetration into foundation areas can result in damage to the foundation and undesirable environmental conditions. The homeowner should be asked for more information regarding the frequency and intensity of water penetration into the basement area. A drainage and waterproofing specialist should be consulted to determine adequacy of the basement waterproofing and drainage systems.

(H5 - 2.3) Basement: Unfinished Area



Evidence suggests that water has entered the basement at the door area. Direct water penetration damages the foundation, the wood structure, and creates an undesirable environment in the crawl space areas that encourages insect, fungal growth such as mold/mildew. A general contractor should be consulted for further evaluation to determine the source of the moisture and necessary repair.

(H6 - 1) Fireplace: Masonry

Interiors: Fireplaces and Stoves (Descriptions):

Location: Living Room
Energy Source: Wood
Exhaust Flue Type: Masonry: Clay Tile Liner

(H6 - 1) Interiors: Fireplaces and Stoves (Defects, Comments, and Concerns):

(H6 - 1.1) Fireplace: Masonry



The fireplace is damper has debris preventing it from opening fully. This is a hazardous condition that needs correction. A licensed general contractor should be consulted for a complete evaluation and repair.

(H6 - 2) Fireplace: Masonry Interiors: Fireplaces and Stoves (Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

All homes with gas appliance should have a carbon monoxide detector. A properly functioning CO detector is vital to the safety of a home with gas appliances.

Location: Family Room
Energy Source: Natural Gas
Exhaust Flue Type: Masonry: Clay Tile Liner

(H6 - 2) Interiors: Fireplaces and Stoves (Defects, Comments, and Concerns):

(H6 - 2.1) Fireplace: Masonry



The gas log unit located the family room has visible soot on the components and damper area. The soot indicates improper operation of the unit and possible obstruction of the exhaust. The gas log unit needs a complete inspection and service that includes the exhaust system; flue and chimney system.

I - Insulation and Ventilation Section (General Limitations, Implications, and Directions):

All Insulation and Ventilation items listed or identified below were found to be of concern and in need of a full evaluation and repair by Licensed General Contractor. If additional concerns are discovered during the process of evaluation and repair, the general contractor should consult specialist in each trade as needed. Insulation concerns should be evaluated and corrected as needed to ensure the integrity of the thermal envelope of the home. The insulation in accessible areas was inspected for indications of defects/damage only and not insulation effectiveness or R value. Determining the energy efficiency of the home is beyond the scope of the home inspection. The inspection or determination of the absence or presence of insulation in concealed areas such as wall cavities is not possible. Insulation is not moved in the attic areas. Insulation is moved in the crawl space or foundation areas where plumbing drain/waste pipes penetrate floors, adjacent to earth-filled stoops or porches and at exterior doors when conditions are not hazardous. The presence of insulation prevents the inspection of the ceiling, roofing, and floor components that are concealed or covered. Defects in the insulation system can lead to air infiltration, condensation, and elevated operational costs. The adequacy and proper function of ventilation systems depend on design specifications that cannot be verified during a home inspection.

Inspection procedures related to ventilation involve identifying defects present on systems and components located in the ventilated areas. Active defects such as winter attic condensation will not be visible during the summer inspection unless the condensation has stained or corroded adjacent materials. Therefore the inspection of ventilated areas should be considered seasonally dependent, and the buyer should request a second inspection when the seasons change.

(I1 - 1) Attic Insulation and Ventilation: Areas (Descriptions):

Insulation Type: Batt: Faced Kraft Paper
Ventilation Type: Soffit: Gable: Static

(I1 - 1) Insulation and Ventilation: Areas (Defects, Comments, and Concerns):

(I1 - 1.1) Attic



The attic space over the left side porch is not accessible and there are no apparent intake or exhaust sources for ventilation. Improper ventilation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for a complete evaluation to determine the significance of the concern and make necessary repairs. (small porches do not require ventilation)

(I1 - 2) Crawl Space

Insulation and Ventilation: Areas

(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

The presence of insulation prevents the inspection of the ceiling, roofing, and floor components that are concealed or covered.

Insulation Type: Batt: Faced Kraft Paper

Ventilation Type: Foundation Vents

(I1 - 2) Insulation and Ventilation: Areas

(Defects, Comments, and Concerns):

(I1 - 2.1) Crawl Space



A section of insulation in the crawl space under addition has fallen. Improper insulation installation could result in condensation, over heating of the building components, and inadequate conditioning of the living areas. A licensed general contractor should be consulted for repair/ replacement.

(I1 - 3) Basement

Insulation and Ventilation: Areas

(Confirmation of Limitations, Reasons for Not Inspecting, Descriptions):

The ventilation systems inspection was limited to a visual inspection of the observed components. The effectiveness of the installed systems was not determined.

Insulation Type: No Insulation Present

Ventilation Type: Foundation Vents

J - Built In Appliance Section

(General Limitations, Implications, and Directions):

All appliances listed or identified below were found to be of concern or in need of a full evaluation and repair by a certified appliance repair technician. If additional concerns are discovered during the process of evaluation and repair, a general contractor should be consulted to contact a specialist in each trade as needed. Built in appliances are operated to determine if the units respond and operate to normal operating controls. The determination of the effectiveness of the appliance settings or cycles, such as cleaning ability of the dishwasher, grinding efficiency of the disposal, or calibration of the oven is beyond the scope of the home inspection. Refrigeration units and washing machines are beyond the scope of the home inspection.

(J1 - 1) Dishwasher

Built In Appliances: Equipment (Descriptions):

Location: Kitchen

Inspection Method: Not Inspected

(J1 - 1) Built In Appliances: Equipment

(Defects, Comments, and Concerns):

(J1 - 1.1) Dishwasher



The water supply for the dishwasher was turned off at the time of the inspection. The inspector did not have permission or knowledge of the circumstances that required the water to be turned off and therefore did not turn the unit on. The inspection of the dishwasher was not completed because the unit was not operated through one normal cycle. It is recommended that the power be restored and the inspection completed prior to the purchase of the home.

(J1 - 2) Garbage Disposal Built In Appliances: Equipment (Descriptions):

Location: Kitchen

Inspection Method:

(J1 - 2) Built In Appliances: Equipment (Defects, Comments, and Concerns):

(J1 - 2.1) Garbage Disposal



The disposal did not operate when turned to the on position. Appliances should be repaired and inspected prior to purchase to ensure safe and proper operation. An appliance repair person should be consulted for full evaluation and repair.

(J1 - 3) Range: Electric Built In Appliances: Equipment (Descriptions):

Location: Kitchen

Inspection Method: The range / oven elements were operated with indicator set to HIGH until the element was noted to be fully red or until a defect was noted. The unit calibration was not verified. If the client would like to verify temperature calibration, an appliance specialist should be consulted.